



VIEW FROM SW



VIEW FROM SE



RESIDENTIAL ENTRANCE

# BRIDGELAND MIXED-USE DEVELOPMENT

## DEVELOPMENT PERMIT APPLICATION - 2023-06-12

### DTR#1 RESPONSE - 2023-11-17

#### Design Team

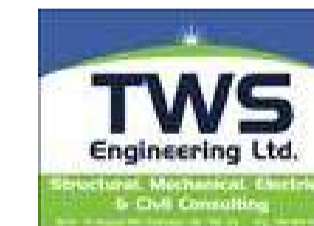
**CLIENT:**  
WESTRICH MANAGEMENT LTD.  
10309 102 AVENUE NW  
EDMONTON, AB T5J 0L1  
PHONE: 780.438.8811

**ARCHITECT:**  
S2 ARCHITECTURE  
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CALGARY, AB T2R 0E9  
PHONE: 403.670.7000

**ELECTRICAL:**  
TWS ENGINEERING LTD.  
9918 75 AVENUE NW  
EDMONTON, AB T6E 1J2  
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**CIVIL:**  
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**LANDSCAPE:**  
W.L.A. GROUP  
12 RICHMOND LINK  
FORT SASKATCHEWAN, AB T8L 0S2  
PHONE: 0780.554.2545



Suite 900, 110 - 12th Avenue SW  
Calgary, AB, Canada T2R 0G7  
T 403.670.7000  
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COVER SHEET

BRIDGELAND MIXED-USE DEVELOPMENT  
630 1st AVENUE NE, CALGARY, AB  
WESTRICH MANAGEMENT  
222114

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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DRAWING NO.

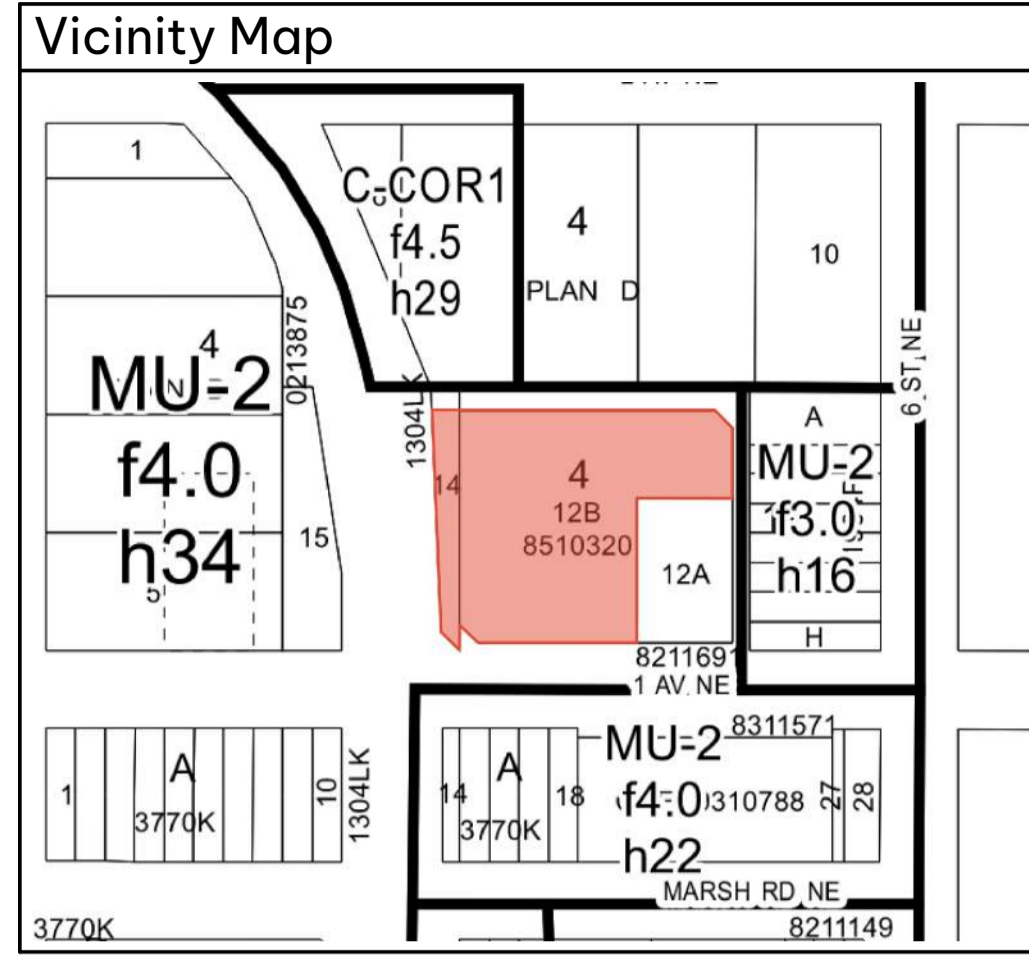
DPO.00



Suite 900, 110 - 12th Avenue SW  
Calgary, AB, Canada T2R 0G7  
T 403.670.7000  
www.s2architecture.com

PROJECT INFORMATION

BRIDGELAND MIXED-USE DEVELOPMENT  
630 1st AVENUE NE, CALGARY, AB  
WESTRICH MANAGEMENT  
222/114



### Municipal Address

630 1st AVENUE NE  
CALGARY, AB

### Legal Address

LOT 12B, BLOCK 4, PLAN 8510320

### Site Summary

PARCEL AREA:  
3274 m<sup>2</sup> + 259.99m<sup>2</sup> (additional land owned by the City) = approx. 3533.99m<sup>2</sup>  
0.353ha  
0.873 acres

### By-Law Zoning

PART 14, DIVISION 1  
MIX USE - ACTIVE FRONTAGE (MU-2) DISTRICT f 4.0, h 35

### By-Law Setback Summary

MINIMUM SETBACK AREAS  
PROPERTY LINE SHARED WITH A STREET: 0m  
PROPERTY LINE SHARED WITH A LANE THAT SEPARATES THE PARCEL FROM ADJACENT PARCEL: 7.5m FROM ADJACENT PARCEL

### Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA	
LEVEL	AREA
PARKADE P1	33061 ft <sup>2</sup>
PARKADE P2	33061 ft <sup>2</sup>
<b>TOTAL</b>	<b>66122 ft<sup>2</sup></b>

GROSS FLOOR AREA	
LEVEL	AREA
LEVEL 1	25429 ft <sup>2</sup>
LEVEL 2	24539 ft <sup>2</sup>
LEVEL 3	24539 ft <sup>2</sup>
LEVEL 4	24539 ft <sup>2</sup>
LEVEL 5	24539 ft <sup>2</sup>
LEVEL 6	24539 ft <sup>2</sup>
<b>TOTAL</b>	<b>148124 ft<sup>2</sup></b>

BUILDING AREA - 26866 sqft (2495.93 sqm)

### Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING				
DESCRIPTION	QTY.	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNITS	140	0.75 STALL PER UNIT	105	108
VISITOR	140	0.10 STALLS PER UNIT	14	14
TRANSIT REDUCTION		25% OF 105	-26	
<b>TOTAL RESIDENTIAL</b>			<b>93</b>	<b>122</b>

COMMERCIAL PARKING - MINIMUM REQUIRED - N/A  
PROVIDED - 17

### Bicycle Parking Requirements

RESIDENTIAL - CLASS 1 PARKING				
DESCRIPTION	QTY.	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNITS	140	0.5	70	120

RESIDENTIAL - CLASS 2 PARKING				
DESCRIPTION	QTY.	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNITS	120	0.1	14	14

COMMERCIAL - CLASS 2 PARKING				
DESCRIPTION	QTY.	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
RETAIL	1320sqm	1 per 250sqm	6	6

### Waste & Recycling Requirements

RESIDENTIAL - WASTE & RECYCLING					
BUILDINGS #	QTY.	NO. OF BINS (3 yd <sup>3</sup> )	STORAGE	STAGING	
DWELLING UNITS	140	14	126m <sup>2</sup>	165m <sup>2</sup>	25m <sup>2</sup>

CALCULATIONS:  
(140 UNITS / 10) x 3 yd<sup>3</sup> = 42 yd<sup>3</sup> TOTAL WASTE & RECYCLING PRODUCED  
42 yd<sup>3</sup> / 3 yd<sup>3</sup> = 14 BINS + 2 FOR COMMERCIAL USE (1 PER 1000 m<sup>2</sup>)  
16 BINS x 9 m<sup>2</sup> = 144 m<sup>2</sup>  
144 m<sup>2</sup> STORAGE AREA / 2 = 72 m<sup>2</sup> STAGING AREA REQUIRED

### Drawing List

- ARCH**
  - DP0.00 COVER SHEET
  - DP0.01 PROJECT INFORMATION
  - DP0.02 SITE SURVEY
  - DP0.02A SITE SURVEY
  - DP0.03 SITE PHOTOS
  - DP0.04 DEMOLITION PLAN
  - DP0.05 SITE DETAILS
  - DP1.00 SITE PLAN
  - DP2.00 PARKADE LEVEL - P2
  - DP2.01 PARKADE LEVEL - P1
  - DP2.02 MAIN FLOOR PLAN
  - DP2.03 LEVEL 2 FLOOR PLAN
  - DP2.04 LEVEL 3-6 FLOOR PLAN
  - DP2.08 ROOF PLAN
  - DP3.00 BUILDING SECTIONS
  - DP4.00 ELEVATIONS
  - DP4.01 ELEVATIONS
  - DP4.02 ELEVATIONS
- LANDSCAPE**
  - DPL-1 LANDSCAPE BOUNDARY AREAS
  - DPL-2 COURT YARD PLANTING PLAN
  - DPL-3 COURT YARD LAYOUT PLAN AND PRODUCT IDENTIFICATION
  - DPL-4 LANDSCAPE STREETScape
  - DPL-5 PLANT MATERIAL IMAGES AND PRODUCTS
  - DPL-6 LANDSCAPE DETAILS AND NOTES
- CIVIL**
  - C-001 COVER PAGE
  - C-002 LOCATION PLAN
  - C-003 DRAWING INDEX
  - C-004 GRADING PLAN
  - C-005 SANITARY SEWER
  - C-006 STORM SEWER
  - C-007 WATER MAIN
- ELECTRICAL**
  - E-1 ELECTRICAL SITE PLAN

### Building Height

MAXIMUM BUILDING HEIGHT: 34m  
PROPOSED: 22m  
MAIN FLOOR TO CEILING HEIGHT AT GROUND FLOOR: 4.0m

### Proposed Development

DWELLING UNITS (DISCRETIONARY USE)  
SUPERMARKET, CHILD CARE SERVICES (DISCRETIONARY USE)

BUILDING CLASSIFICATION AS PER NATIONAL BUILDING CODE - 2019  
DIVISION B, PARTS 3.4, 5.6

PARKADE LEVEL 01 AND 02  
MAJOR OCCUPANCY: GROUP F, DIVISION 1 - LOW HAZARD INDUSTRIAL  
BUILDING HEIGHT: 2 STOREYS  
BUILDING CLASSIFICATION: 3.2.2.70 GROUP F, DIVISION 1, UP TO 4 STOREYS, SPRINKLERED

MIXED USE  
MAJOR OCCUPANCY: GROUP C RESIDENTIAL, GROUP E MERCANTILE  
BUILDING HEIGHT: 6 STOREYS  
BUILDING CLASSIFICATION:  
3.2.2.50 GROUP C, UP TO 6 STOREYS, SPRINKLERED  
3.2.2.69 GROUP E, UP TO 2 STOREYS, SPRINKLERED

BUILDING SEPARATION

WHERE THE WIDEST DIMENSION OF A BALCONY FACES A PROPERTY LINE SHARED WITH ANOTHER PARCEL, THE MIN. SETBACK OF A BALCONY FROM THE SHARED PROPERTY LINE IS 4.0m  
FOR BUILDINGS ABOVE 23m, THE MIN. HORIZONTAL SEPARATION IS 5.5m FROM A PROPERTY LINE SHARED WITH ANOTHER PARCEL  
3.0m FROM A PROPERTY LINE SHARED WITH A LANE

### Dwelling Unit Count

UNIT SUMMARY			
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY
UNIT A	1 BEDROOM + DEN	67m <sup>2</sup> / 721 sq'	60
UNIT A1	1 BEDROOM + DEN	67m <sup>2</sup> / 721 sq'	5
UNIT A2	1 BEDROOM + DEN	67m <sup>2</sup> / 721 sq'	5
UNIT A3	1 BEDROOM	63m <sup>2</sup> / 678 sq'	5
UNIT A4	1 BEDROOM	50m <sup>2</sup> / 538sq'	5
UNIT A5	1 BEDROOM	59m <sup>2</sup> / 635 sq'	5
UNIT B1	2 BEDROOM	80m <sup>2</sup> / 861 sq'	5
UNIT B2	2 BEDROOM	80m <sup>2</sup> / 861 sq'	5
UNIT B3	2 BEDROOM	79m <sup>2</sup> / 850 sq'	5
UNIT B4	2 BEDROOM	83m <sup>2</sup> / 893 sq'	5
UNIT B5	2 BEDROOM	65m <sup>2</sup> / 699sq'	10
UNIT B6	2 BEDROOM	80m <sup>2</sup> / 861sq'	5
UNIT B7	2 BEDROOM	75m <sup>2</sup> / 807 sq'	5
UNIT B8	2 BEDROOM	74m <sup>2</sup> / 796 sq'	5
UNIT B9	2 BEDROOM	83m <sup>2</sup> / 893 sq'	5
UNIT B10	2 BEDROOM	75m <sup>2</sup> / 807 sq'	5
<b>TOTAL</b>			<b>140</b>

### Landscape Summary

REFER TO LANDSCAPE PLANS

### Street Wall Stepback

WHERE THE HEIGHT OF A BUILDING IS GREATER THAN 23.0 METERS MEASURED FROM GRADE, THE FACADE OF THE BUILDING WITHIN 6.0 METERS OF A PROPERTY LINE SHARED WITH A STREET MUST HAVE A HORIZONTAL SEPARATION FROM THE PORTION OF THE FACADE CLOSEST TO GRADE SUCH THAT:

- THE HORIZONTAL SEPARATION HAS A MINIMUM DEPTH OF 2.0m
- THE HORIZONTAL SEPARATION OCCURS BETWEEN A MINIMUM OF 7.5m AND MAXIMUM OF 23.0m MEASURED FROM GRADE.

### Floor Area Ratio

MAXIMUM PERMITTED F.A.R.	PROPOSED F.A.R.
4.0	3.90

### Density

DENSITY (UNITS PER HECTARE)		
MIN. PERMITTED	MAX. PERMITTED	PROPOSED
N/A	N/A	458

### NOT FOR CONSTRUCTION

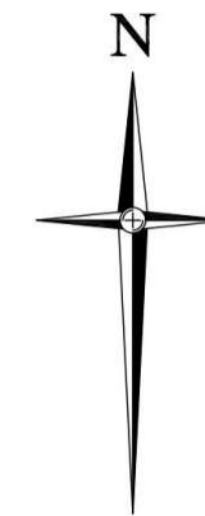
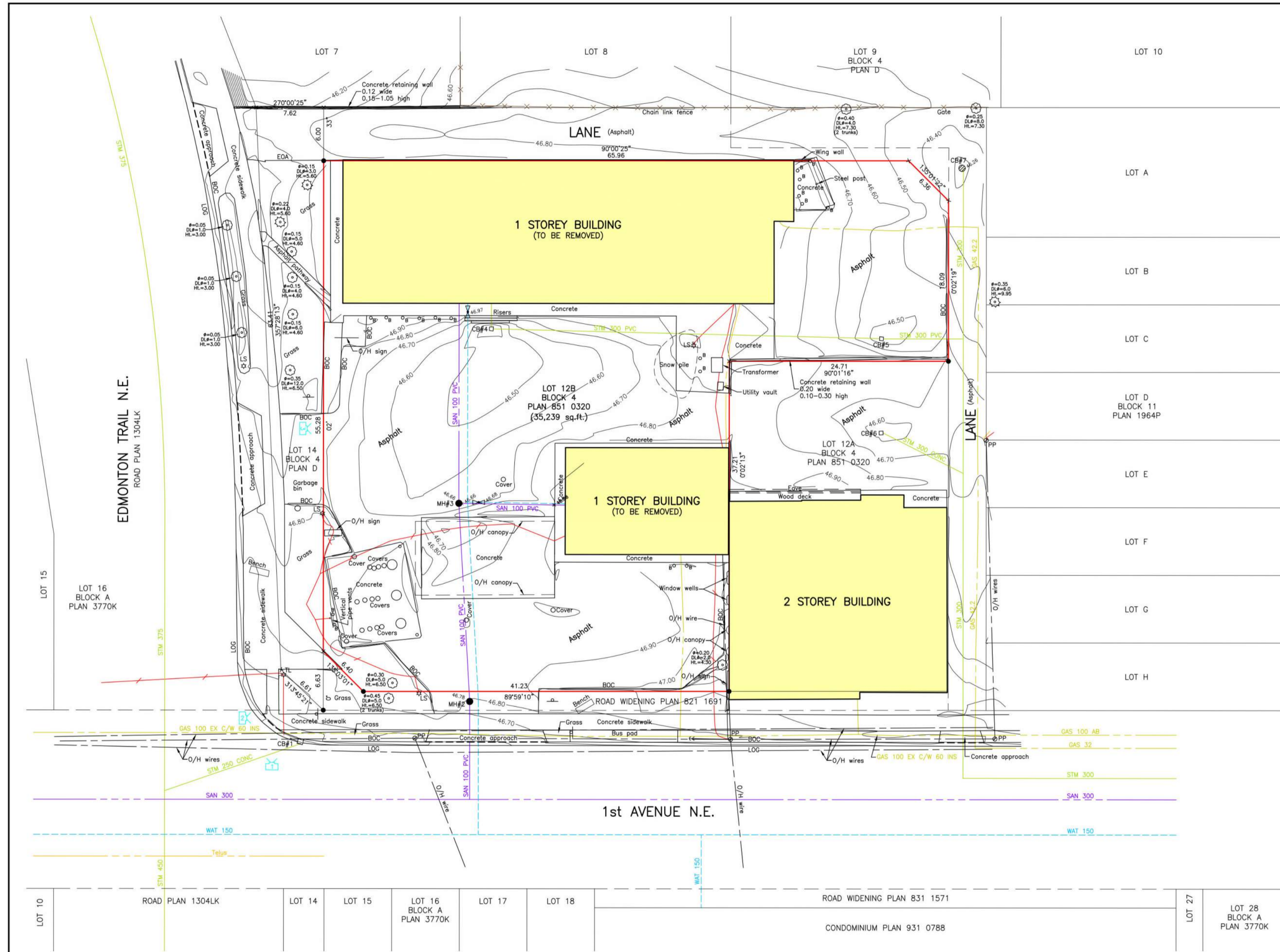
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DATE 11/16/2023 3:51:05 PM  
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DRAWING NO.

DP0.01



CITY OF CALGARY  
PLAN SHOWING TOPOGRAPHIC/SITE SURVEY  
AFFECTING  
LOT 12B, BLOCK 4, PLAN 851 0320  
WITHIN THE  
S.E.1/4 SEC.22, TWP.24, RGE.1, W.5M.  
SCALE: 1:250  
B.M. WILSON, ALS 2023

**LEGEND**

- AREA AFFECTED BY THIS PLAN OUTLINED THIS AND CONTAINS 3273.8 sq.m. / 0.327 ha.
- SURVEY CONDUCTED BETWEEN THE DATES OF MARCH 4 AND 7, 2022.
- FOUND STATUTORY IRON POSTS SHOWN THUS: ●
- TEMPORARY POINT ESTABLISHED, LEFT NO MARK, SHOWN THUS: x
- GROUND SPOT ELEVATIONS ARE SHOWN THUS: +46.80
- DISTANCES ARE IN METRES.
- BEARINGS ARE DERIVED FROM GNSS OBSERVATIONS.
- THE PROJECTION IS 3° TRANSVERSE MERCATOR, THE HORIZONTAL DATUM IS NAD83(ORIGINAL), THE REFERENCE MERIDIAN IS 114° WEST LONGITUDE, AND THE COMBINED SCALE FACTOR IS 0.999729.
- DIGITAL FILES USE GROUND COORDINATES THAT ARE DERIVED USING THE PUBLISHED VALUES FOR ASCM 148890.
- ELEVATIONS ARE GEODETIC, THE VERTICAL DATUM IS COV028, DERIVED FROM ASCM 153254, AND REDUCED BY 1000.00 METRES.
- ALL SYMBOLS FOR TREES ARE NOT TO SCALE, REFER TO TRUNK DIAMETER AND DRIP LINE DIAMETER INFORMATION FOR ACTUAL SIZE.
- UNDERGROUND UTILITY INFORMATION HAS BEEN DERIVED FROM CITY OF CALGARY BLOCK PROFILE DRAWINGS AND ONSITE THIRD-PARTY PIPELINE AND UTILITY LOCATION SERVICES AND IS FOR REFERENCE ONLY. ONSITE PIPELINE AND UTILITY LOCATIONS PROVIDED BY FUJI PIPE LOCATORS LTD. ON MARCH 4, 2022. ANY RELIANCE ON THE UNDERGROUND INFORMATION IS AT THE USER'S RISK AND IS SUBJECT TO FIELD VERIFICATIONS.
- ALL UNDERGROUND INFORMATION IS APPROXIMATE AND WILL REQUIRE CONFIRMATION PRIOR TO ANY EXCAVATION.
- THIS SURVEY WAS CONDUCTED WITH SNOW COVERED TERRAIN, THE SITE SHOULD BE CHECKED IN THE SPRING TO ENSURE ALL REQUIRED FEATURES ARE SHOWN. MAINTENANCE LAND SURVEYS LTD. ASSUMES NO RESPONSIBILITY FOR FEATURES OMITTED FROM THIS PLAN THAT WERE COVERED BY SNOW OR ICE.

ALS	ALBERTA LAND SURVEYOR	CONC	CONCRETE
SEC	SECTION	INS	INSULATE
TWP	TOWNSHIP	PVC	POLYVINYL CHLORIDE
RGE	RANGE	SOLL	SOLLARD
M	MERIDIAN	CB	CATCH BASIN (RECTANGULAR)
N	NORTH	CB	CATCH BASIN (CIRCULAR)
S	SOUTH	CT	CONIFEROUS TREE
E	EAST	DT	DECIDUOUS TREE
W	WEST	LS	LIGHT STANDARD
ASCM	ALBERTA SURVEY CONTROL MARKER	MH	MANHOLE
COV028	CANADIAN GEODETIC VERTICAL DATUM OF 1928	PH	PHOTO LOCATION/DIRECTION
GNSS	GLOBAL NAVIGATION SATELLITE SYSTEM	TL	TRAFFIC LIGHT
NAD83	NORTH AMERICAN DATUM OF 1983	UP	UTILITY POLE
BOC	BACK OF CURB	UPA	UTILITY POLE ANCHOR
EOA	EDGE OF ASPHALT	V	VALVE
Ø	DIAMETER	CLF	CHAIN LINK FENCE
DL	DRIP LINE DIAMETER	EL	ELECTRICAL LINE (UNDERGROUND)
HT	HEIGHT	GL	GAS LINE
Inv.	INVERT ELEVATION	OL	OVERHEAD UTILITY LINE
LOS	LIP OF GUTTER	SL	SANITARY LINE
Q/H	OVERHEAD	ST	STORM LINE
SAN	SANITARY SEWER	TEL	TELECOMMUNICATION LINE
STM	STORM SEWER	WL	WATER LINE
WAT	WATER	DC	DEPRESSED CURB
AB	ABANDONED		



PHOTO #1



PHOTO #2



PHOTO #3

MH/CB	RM ELEV.	N. INV.	N. #	S. INV.	S. #	E. INV.	E. #	W. INV.	W. #
#1	46.31	---	---	(N)45.19	0.25	---	---	---	---
#2	46.78	43.46	0.10	43.38	0.10	---	---	---	---
#3	46.66	44.07	0.10	44.00	0.10	44.02	0.10	---	---
#4	46.32	45.46	0.15	---	---	45.30	0.30	---	---
#5	46.44	---	---	---	---	45.08	0.30	45.10	0.30
#6	46.56	---	---	(E)45.60	0.30	---	---	---	---
#7	46.26	---	---	44.81	0.30	---	---	---	---

INVERT ELEVATION TABLE

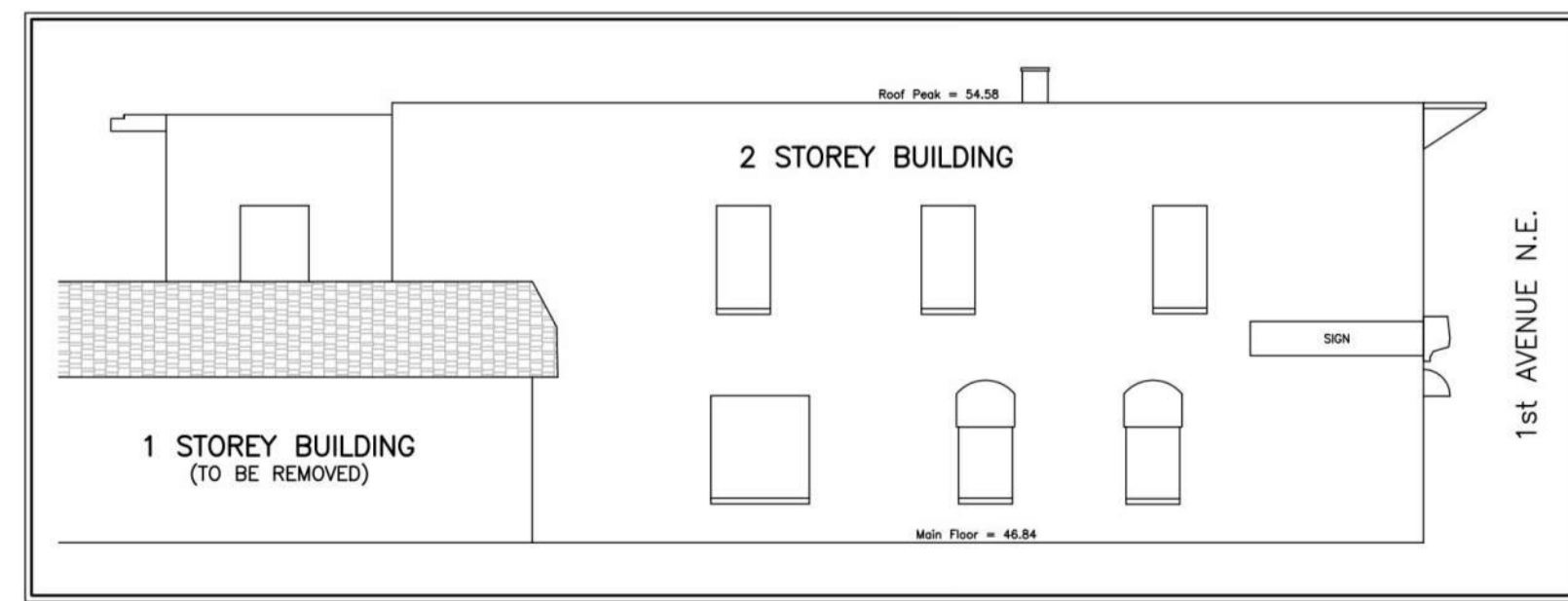
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CLIENT  
WESTRICH MANAGEMENT LTD.  
SITE ADDRESS  
630 1st AVENUE N.E.

MAIDMENT LAND SURVEYS LTD.  
10, 141 Commercial Drive 403.286.0501  
Calgary, AB T2Z 2A7 www.maidment.ca  
FILE NUMBER: 12203488



EAST ELEVATION VIEW

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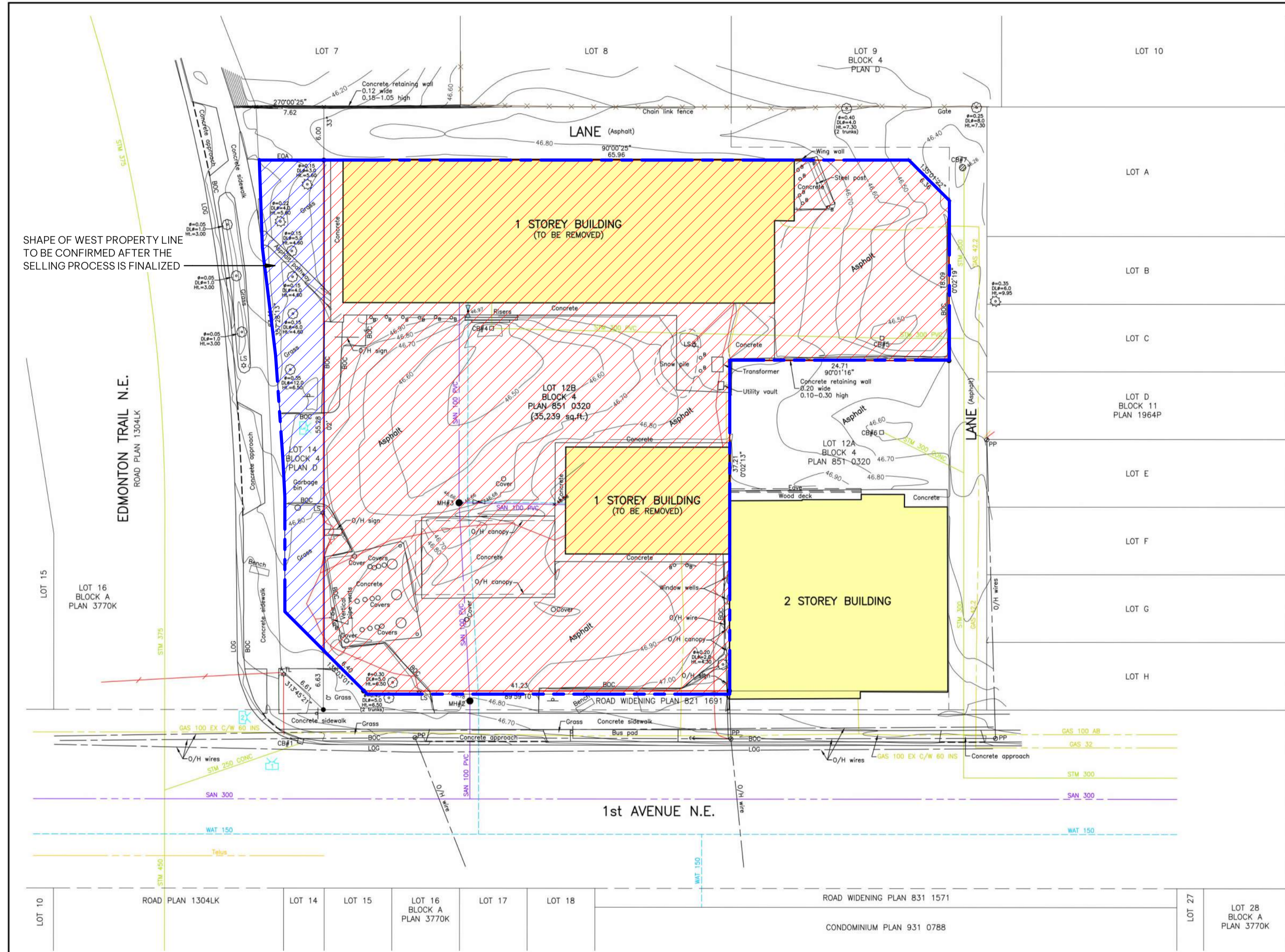
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SCALE  
DATE 11/16/2023 3:51:08 PM  
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CHECKED BY Checker

DRAWING NO.

**DP0.02**

- SUBJECT OF THIS APPLICATION
- CURRENT SITE BOUNDARY LOT 12B BLOCK 4 PLAN 8510320  
35,239 SQ.FT/ 3274 SQ. M
- CITY'S REAL PROPERTY  
2798.534 SQ.FT/ 259.99 SQ.M



CITY OF CALGARY  
PLAN SHOWING TOPOGRAPHIC/SITE SURVEY  
AFFECTING  
LOT 12B, BLOCK 4, PLAN 851 0320  
WITHIN THE  
S.E.1/4 SEC.22, TWP.24, RGE.1, W.5M.  
SCALE: 1: 250  METRES  
B.M. WILSON, ALS 2023

- LEGEND**
1. AREA AFFECTED BY THIS PLAN OUTLINED THIS  AND CONTAINS 3273.8 sq.m. / 0.327 ha.
  2. SURVEY CONDUCTED BETWEEN THE DATES OF MARCH 4 AND 7, 2022.
  3. FOUND STATUTORY HIGH POSTS SHOWN THIS:
  4. TEMPORARY POINT ESTABLISHED, LEFT NO MARK, SHOWN THIS: X
  5. GROUND SPOT ELEVATIONS ARE SHOWN THIS:
  6. DISTANCES ARE IN METRES.
  7. BEARINGS ARE DERIVED FROM GNSS OBSERVATIONS.
  8. THE PROJECTION IS 3° TRANSVERSE MERCATOR, THE HORIZONTAL DATUM IS NAD83(ORIGINAL), THE REFERENCE MERIDIAN IS 114° WEST LONGITUDE, AND THE COMBINED SCALE FACTOR IS 0.999739.
  9. DIGITAL FILES USE GROUND COORDINATES THAT ARE DERIVED USING THE PUBLISHED VALUES FOR ASCM 148890.
  10. ELEVATIONS ARE GEODETIC, THE VERTICAL DATUM IS CGVD08, DERIVED FROM ASCM 153254, AND REDUCED BY 1000.00 METRES.
  11. ALL SYMBOLS FOR TREES ARE NOT TO SCALE, REFER TO TRUNK DIAMETERS AND DRIP LINE DIAMETER INFORMATION FOR ACTUAL SIZE.
  12. UNDERGROUND UTILITY INFORMATION HAS BEEN DERIVED FROM CITY OF CALGARY BLOCK PROFILE DRAWINGS AND ONSITE THIRD-PARTY PIPELINE AND UTILITY LOCATION SERVICES AND IS FOR REFERENCE ONLY. ONSITE PIPELINE AND UTILITY LOCATIONS PROVIDED BY FULL PIPE LOCATORS LTD. ON MARCH 4, 2022. ANY RELIANCE ON THE UNDERGROUND INFORMATION IS AT THE USER'S RISK AND IS SUBJECT TO FIELD VERIFICATIONS.
  13. ALL UNDERGROUND INFORMATION IS APPROXIMATE AND WILL REQUIRE CONFIRMATION PRIOR TO ANY EXCAVATION.
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- |        |  |       |                               |
|--------|--|-------|-------------------------------|
| ALS    | ALBERTA LAND SURVEYOR                    | CONC. | CONCRETE                      |
| SEC.   | SECTION                                  | INS.  | INSULATE                      |
| TWP.   | TOWNSHIP                                 | PVC   | POLYVINYL CHLORIDE            |
| RGE.   | RANGE                                    | SB    | BOLLARD                       |
| M.     | MERIDIAN                                 | CB    | CATCH BASIN (RECTANGULAR)     |
| N.     | NORTH                                    | CB    | CATCH BASIN (CIRCULAR)        |
| S.     | SOUTH                                    | CT    | CONFERIOUS TREE               |
| E.     | EAST                                     | DT    | DECIDUOUS TREE                |
| W.     | WEST                                     | LS    | LIGHT STANDARD                |
| ASCM   | ALBERTA SURVEY CONTROL MARKER            | MAN   | MANHOLE                       |
| CGVD08 | CANADIAN GEODETIC VERTICAL DATUM OF 1928 | PHO   | PHOTO LOCATION/DIRECTION      |
| GNSS   | GLOBAL NAVIGATION SATELLITE SYSTEM       | SDN   | SIGN                          |
| NAD83  | NORTH AMERICAN DATUM OF 1983             | OTL   | TRAFFIC LIGHT                 |
| BOC    | BACK OF CURB                             | UPP   | UTILITY POLE                  |
| EDA    | EDGE OF ASPHALT                          | UPL   | UTILITY POLE ANCHOR           |
| #      | DIAMETER                                 | V     | VALVE                         |
| DL     | TREE DRIP LINE DIAMETER                  | CLF   | CHAIN LINK FENCE              |
| HL     | HEIGHT                                   | EL    | ELECTRICAL LINE (UNDERGROUND) |
| INV.   | INVERT ELEVATION                         | GL    | GAS LINE                      |
| LOG    | LIP OF GUTTER                            | OL    | OVERHEAD UTILITY LINE         |
| O/H    | OVERHEAD                                 | SL    | SANITARY LINE                 |
| SAN    | SANITARY SEWER                           | ST    | STORM LINE                    |
| STM    | STORM SEWER                              | TEL   | TELECOMMUNICATION LINE        |
| WAT    | WATER                                    | WL    | WATER LINE                    |
| AB     | ABANDONED                                | DC    | DEPRESSED CURB                |



MH/CB	R/W	ELEV.	N. INV.	N. #	S. INV.	S. #	E. INV.	E. #	W. INV.	W. #
#1	46.31	---	---	---	(W)45.19	0.25	---	---	---	---
#2	46.78	43.46	0.10	---	43.38	0.10	---	---	---	---
#3	46.86	44.07	0.10	---	44.00	0.10	44.02	0.10	---	---
#4	46.32	45.46	0.15	---	---	---	45.30	0.30	---	---
#5	46.44	---	---	---	---	---	45.08	0.30	45.10	0.30
#6	46.36	---	---	---	(E)45.60	0.30	---	---	---	---
#7	46.36	---	---	---	44.81	0.30	---	---	---	---

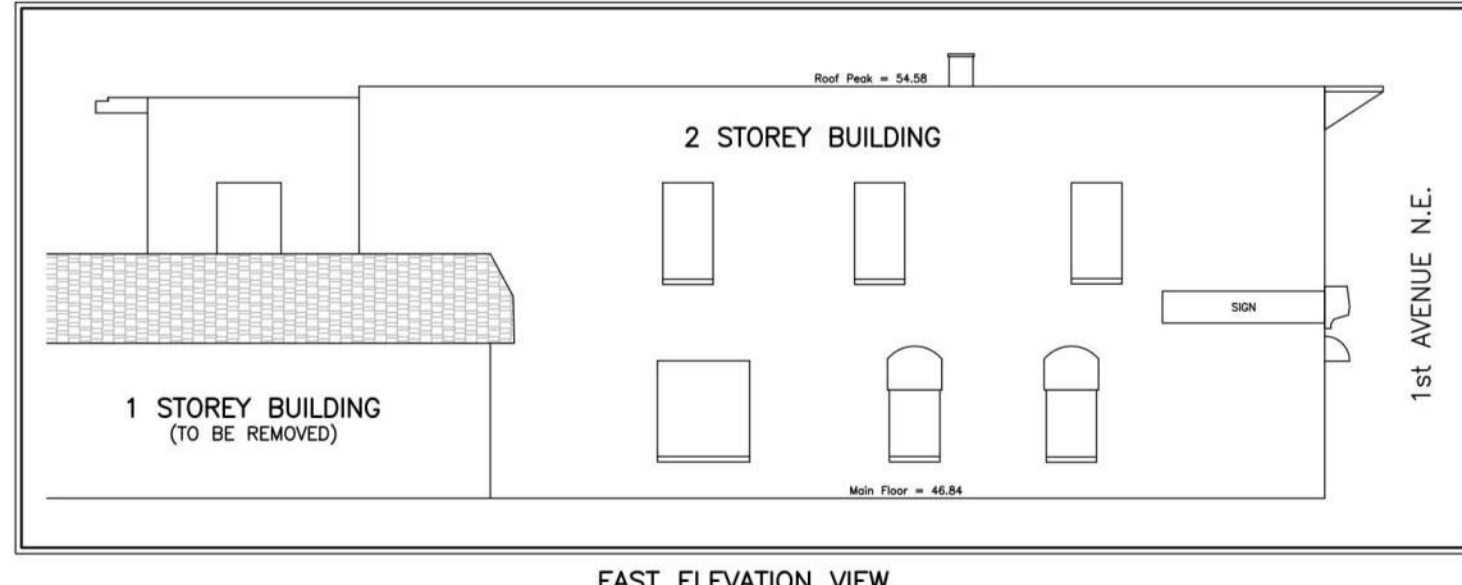
**INVERT ELEVATION TABLE**

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**SITE ADDRESS**  
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**EAST ELEVATION VIEW**

SITE SURVEY

**BRIDGELAND MIXED-USE DEVELOPMENT**  
630 1st AVENUE NE, CALGARY, AB  
WESTRICH MANAGEMENT  
222114

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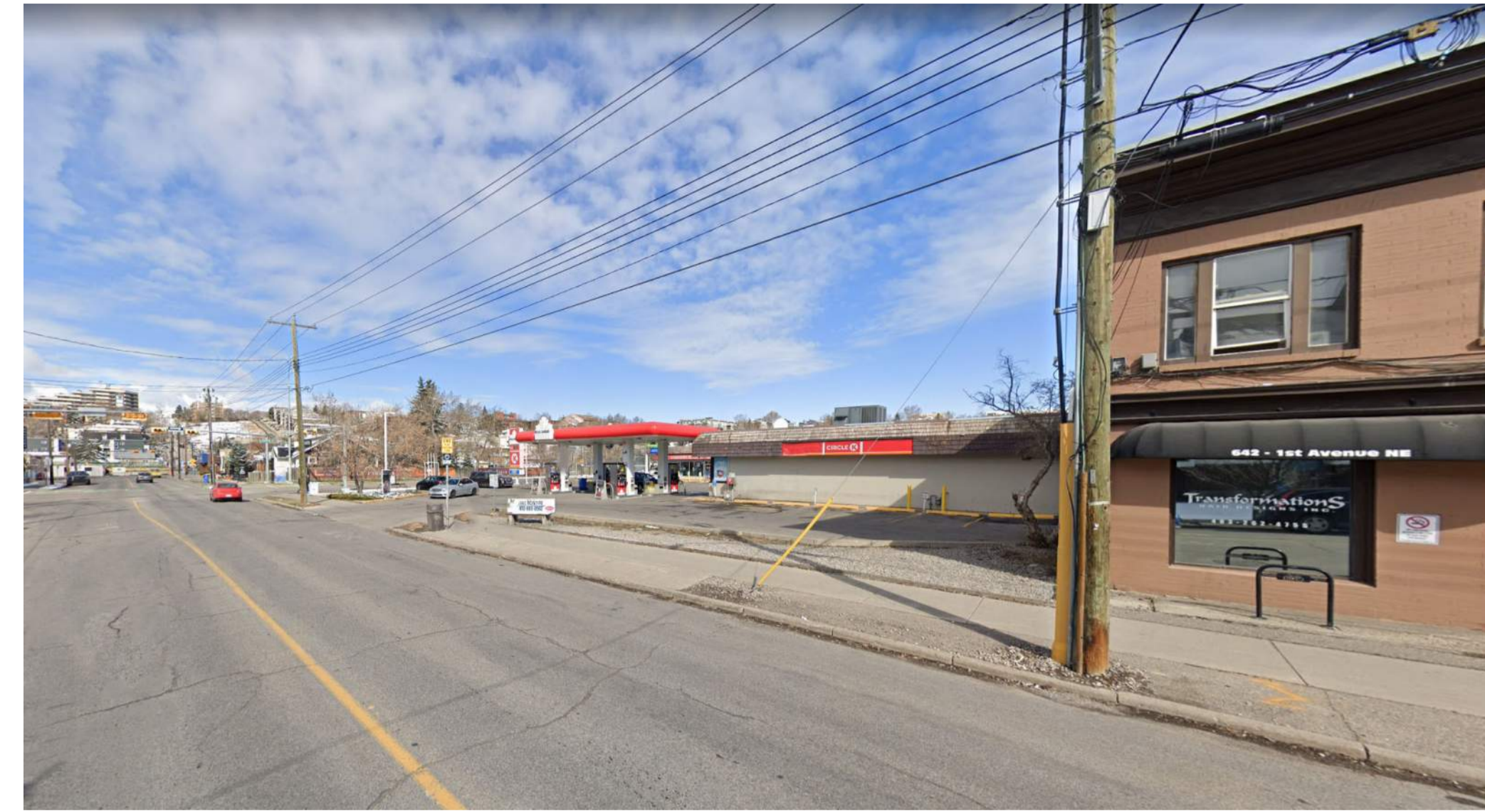
1 Vicinity Map  
DP0.03 SCALE: 1:200



2 View of SW Corner of Site  
DP0.03 SCALE: 1:200



3 View of Site from 1 Ave NE  
DP0.03 SCALE: 1:200



4 View of Site from SE Corner  
DP0.03 SCALE: 1:200



5 View of Site from Edmonton Trail  
DP0.03 SCALE: 1:200



6 View of Site from NW Corner  
DP0.03 SCALE: 1:200



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SITE PHOTOS

**BRIDGELAND MIXED-USE DEVELOPMENT**  
630 1st Avenue NE, CALGARY, AB  
WESTRICH MANAGEMENT 222114

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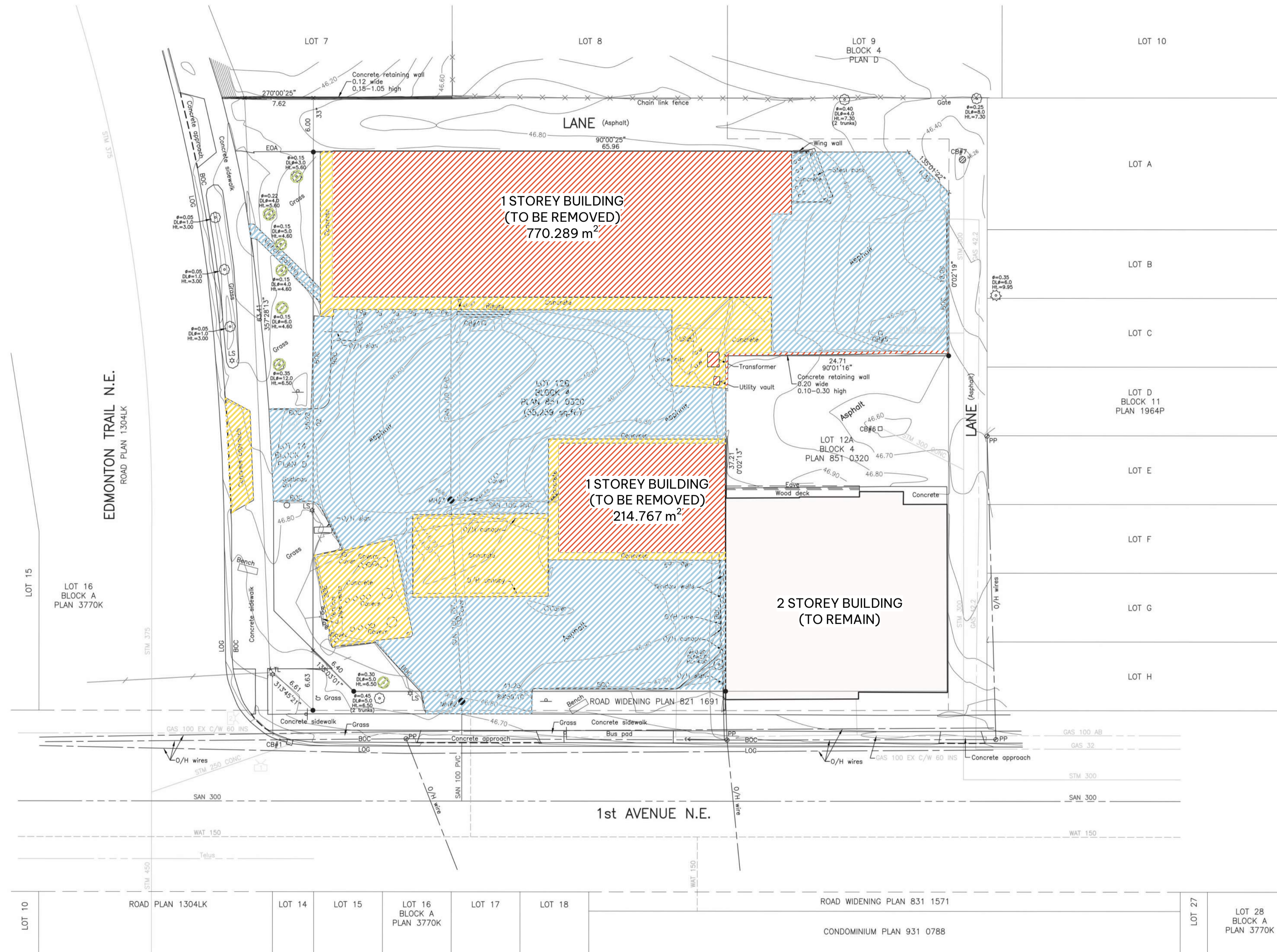
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DRAWING NO.

**DP0.03**



6th STREET N.E. (ORIGINAL ROAD ALLOWANCE)

**Demolition - General Notes**

1. CONTRACTOR TO VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO DEMOLITION AND REPORT ANY DISCREPANCY WITH THE CONTRACT TO THE CONSULTANTS
2. DETERMINE THE EXTENT OF DEMOLITION AND PROVIDE THE NECESSARY PROTECTION TO ADJACENT SURFACES NOT AFFECTED BY THIS CONTRACT
3. CONTRACTOR IS RESPONSIBLE TO REMOVE AND SAFELY STORE ITEMS IDENTIFIED TO BE SALVAGED FOR RE-INSTALLATION
4. CONTRACTOR TO COORDINATE ALL FLOOR SLAB REMOVAL EXTENTS WITH STRUCTURAL AND MECHANICAL DRAWINGS TO ENSURE ADEQUATE REMOVAL IS PROVIDED TO INSTALL NEW UNDER SLAB COMPONENTS
5. COORDINATE ALL DEMOLITION WITH PROPOSED NEW CONSTRUCTION IN CONSTRUCTION DOCUMENTS FOR EXTENT
6. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION

**Demolition - Legend**

- To Be Demolished
- Asphalt To Be Removed
- Concrete To Be Removed
- Trees To Be Removed

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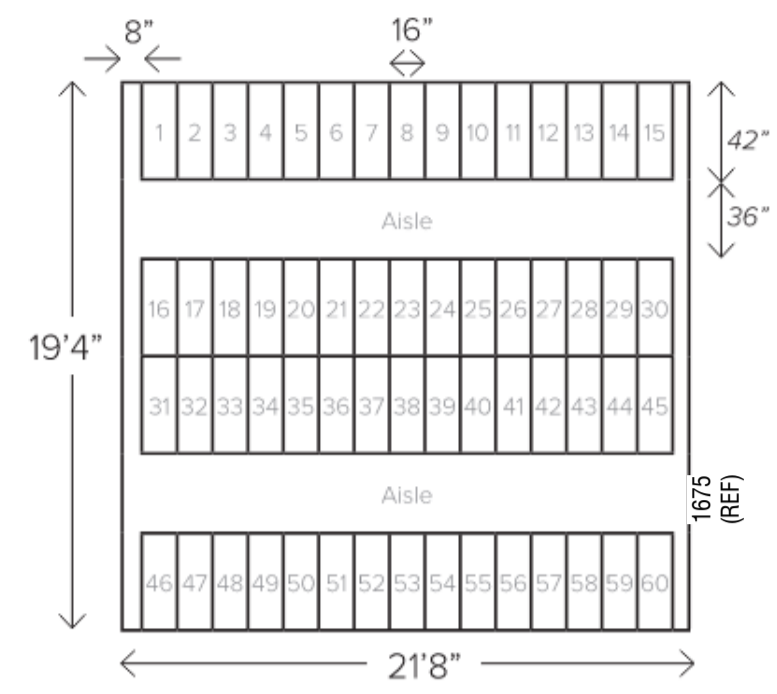
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**DP0.04**

DEMOLITION PLAN

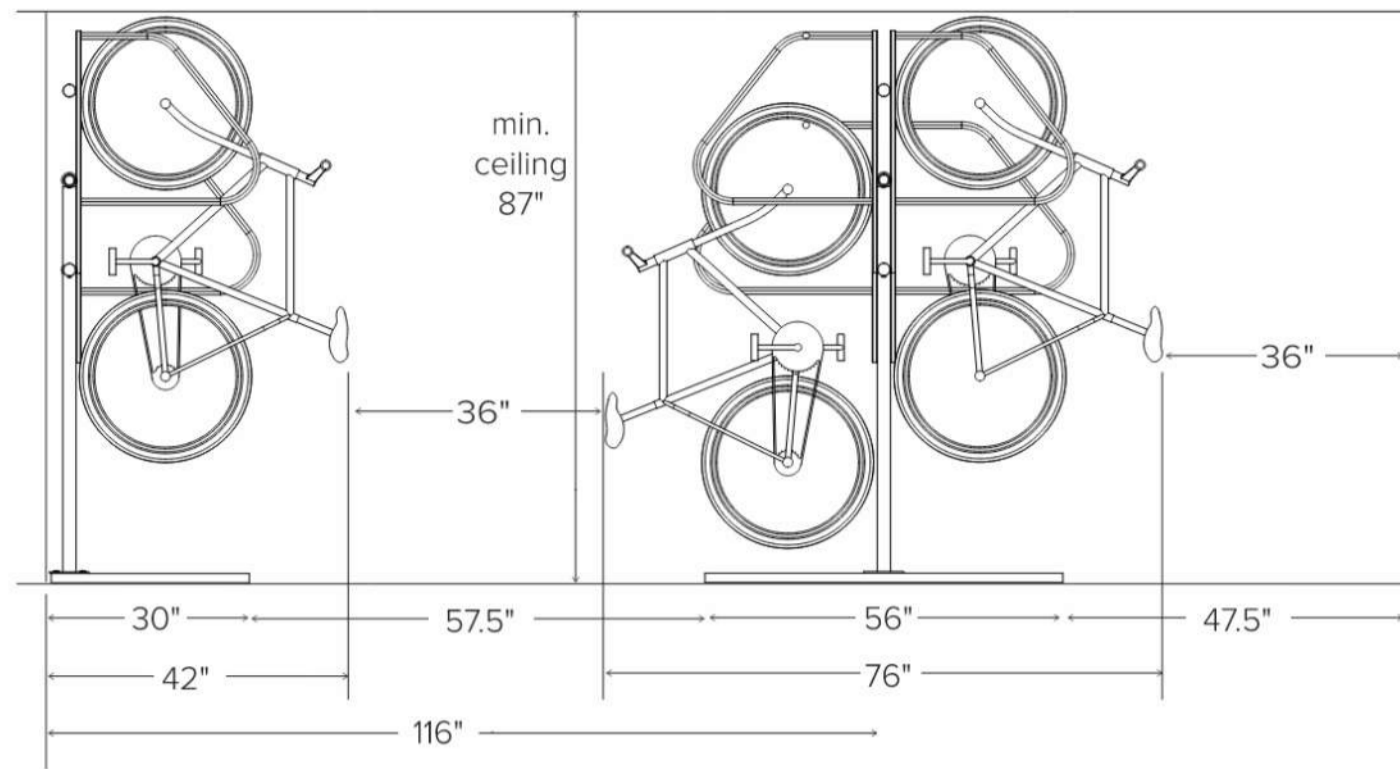
**BRIDGELAND MIXED-USE DEVELOPMENT**  
 630 1st AVENUE NE, CALGARY, AB  
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As a general guideline, the above space can fit approximately 60 bicycles.

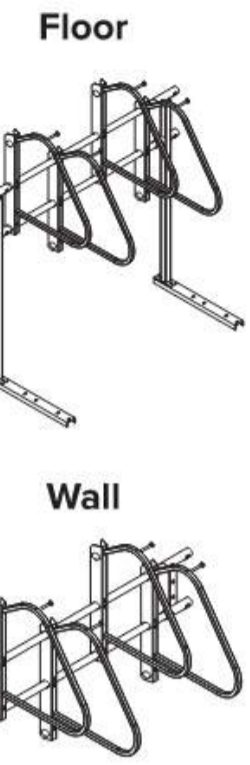
The Ultra Space Saver Squared parks one bike every 16" with a typical bike extending out 42" from the wall.

**PLAN VIEW**

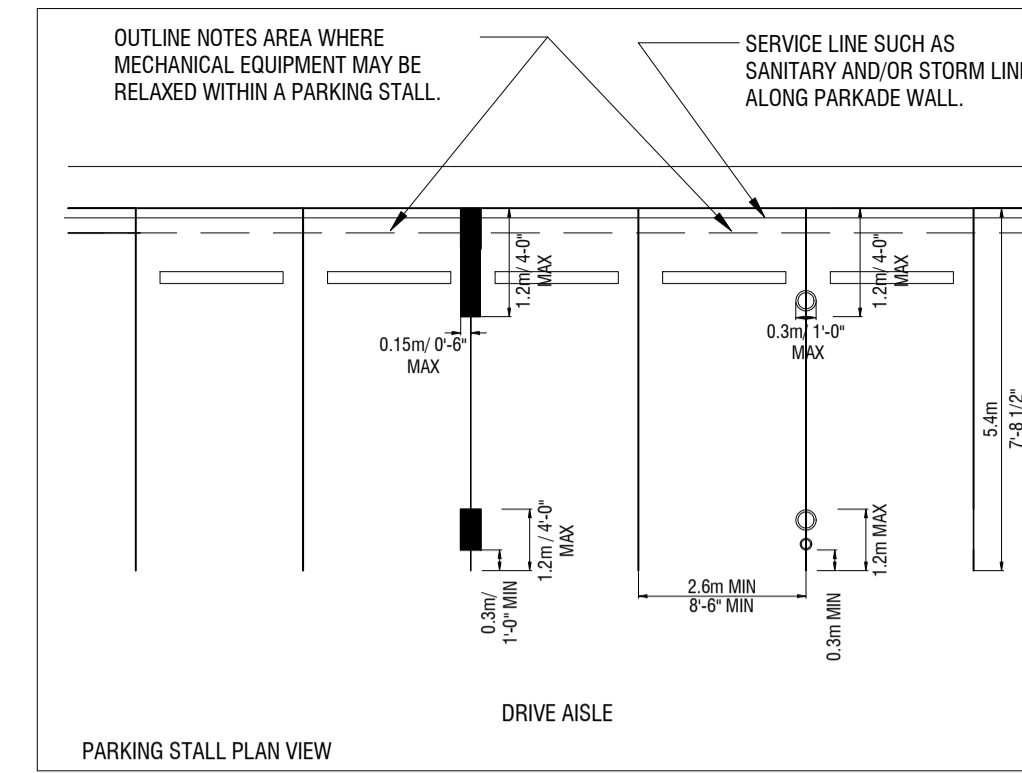


**SIDE ELEVATIONS**

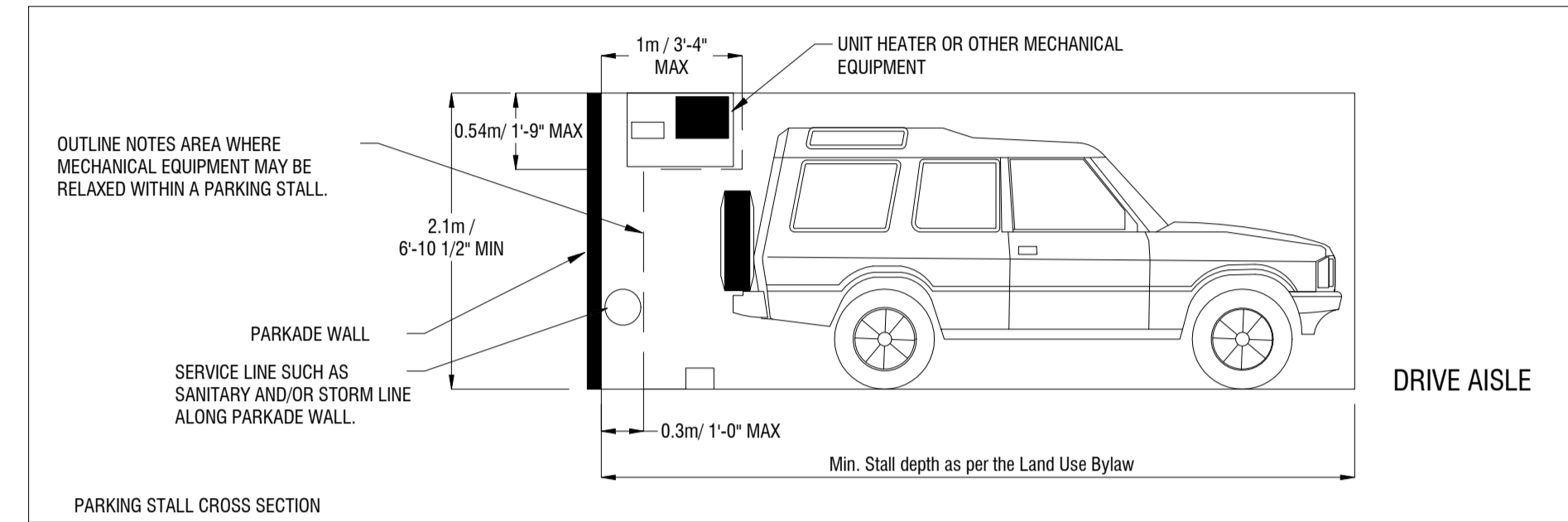
**MOUNT OPTIONS**



**ISOMETRIC VIEW**

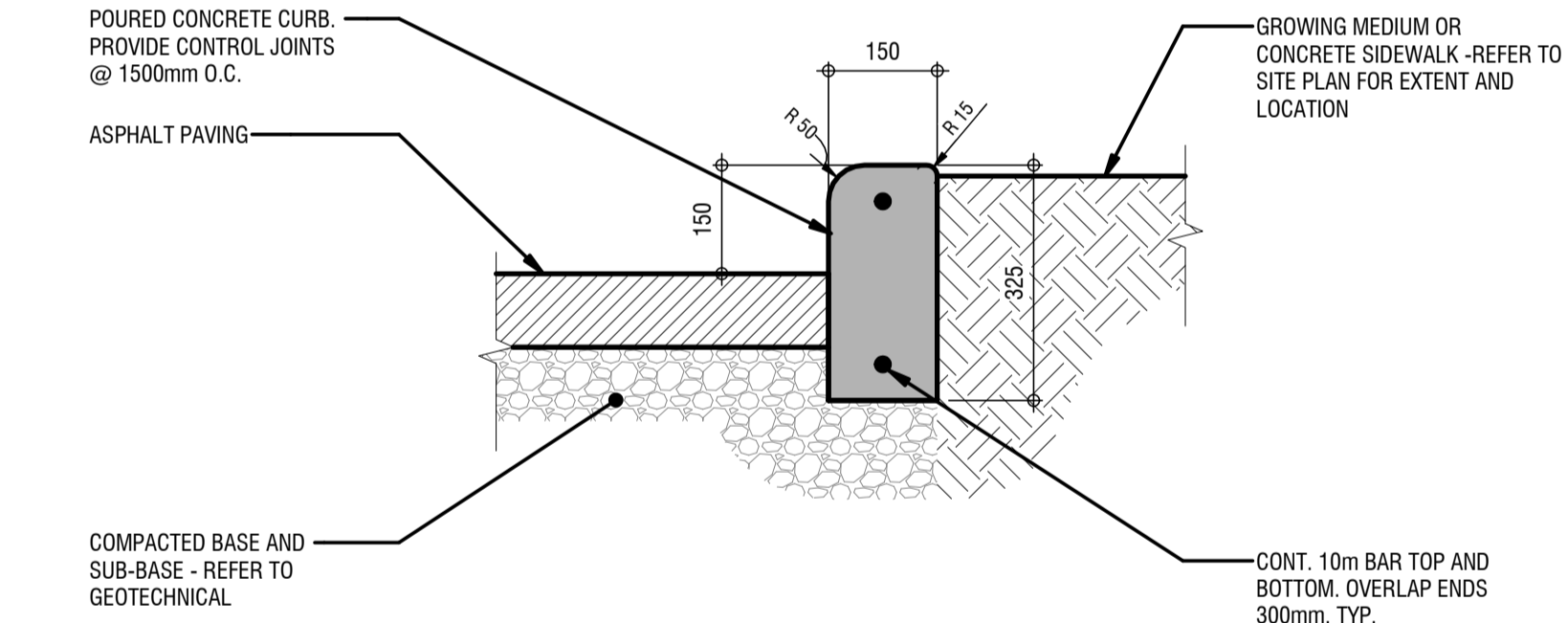


Details outline the allowances for Mechanical services within parking stalls. Mechanical contractor to coordinate with the General Contractor and Architect to ensure all mechanical systems are installed to comply with allowances put forth by The City of Calgary.



**1 Class 01 - Type 1 Bike Rack - Wall Mounted**  
DPO.05 SCALE: 1:25

**2 Mechanical Encroachment Detail**  
DPO.05 SCALE: 1:100



**3 Site Detail - Typ. Concrete Curb**  
DPO.05 SCALE: 1:10



**SITE DETAILS**

**BRIDGELAND MIXED-USE DEVELOPMENT**

630 1st Avenue NE, Calgary, AB

WESTRICH MANAGEMENT

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**Site Plan - General Notes**

- REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
- REFER ALSO TO THE LANDSCAPE PLAN
- ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
- ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
- ALL AREAS NOT INDICATED AS PAVED/HARD SURFACING TO BE GRASSED

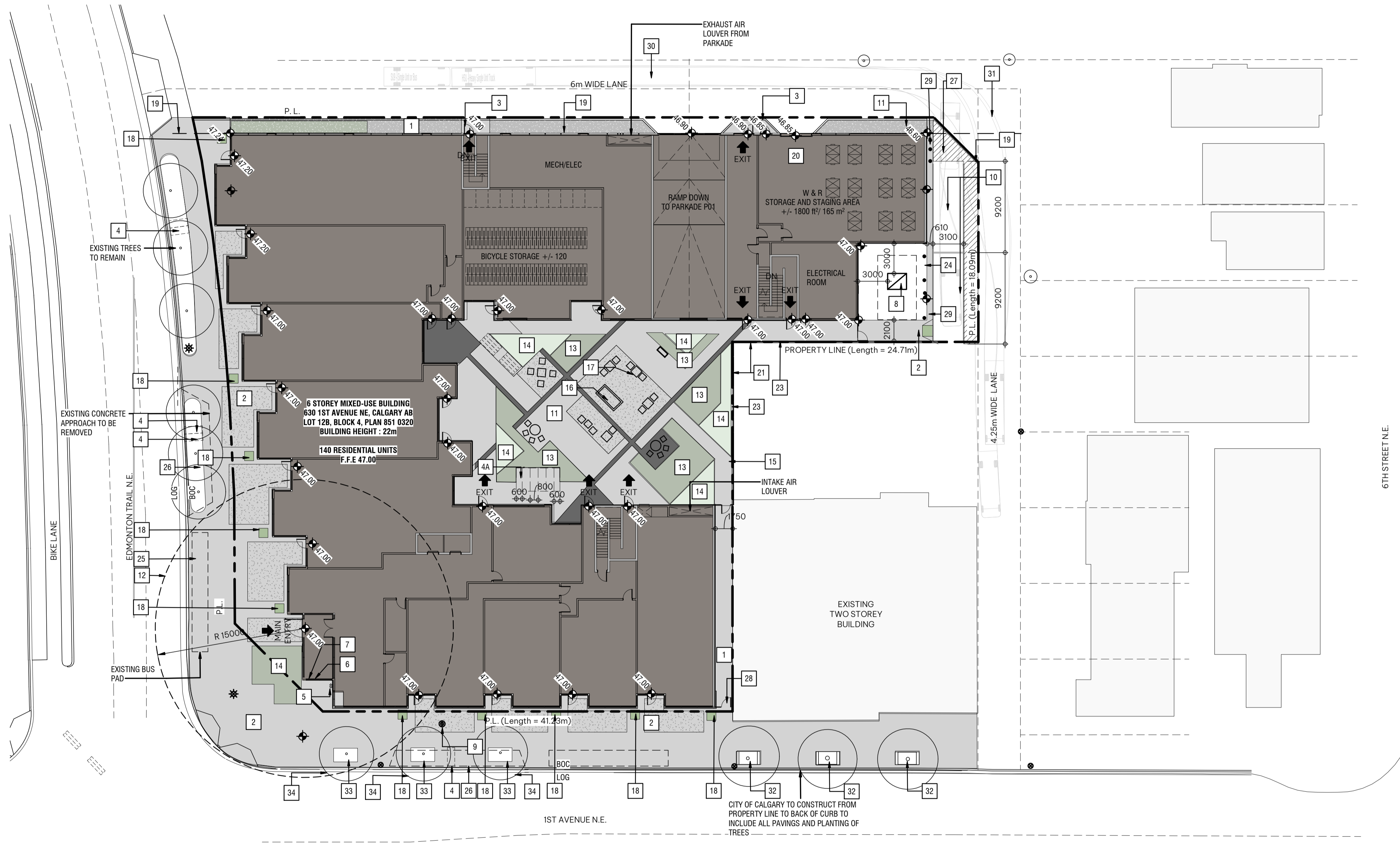
**Site Plan - Symbol Legend**

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF SIDEWALK
- INDICATES EXTENT AND LOCATION OF HEAVY DUTY ASPHALT
- INDICATES EXTENT AND LOCATION OF EXISTING BUILDINGS
- INDICATES EXTENT AND LOCATION OF GRAVEL
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE
- OR INDICATES LOCATION OF PROPOSED CATCH BASIN
- OR INDICATES LOCATION OF EXISTING CATCH BASIN
- INDICATES LOCATION OF PROPOSED MANHOLE
- INDICATES LOCATION OF EXISTING MANHOLE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF EXISTING FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF EXISTING TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF PROPOSED LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED POWER POLE
- INDICATES LOCATION OF PROPOSED POWER POLE ANCHOR
- INDICATES LOCATION OF EXISTING POWER POLE
- INDICATES LOCATION OF EXISTING POWER POLE ANCHOR
- INDICATES LOCATION OF PROPOSED LIGHT BOLLARD
- INDICATES LOCATION OF EXISTING LIGHT BOLLARD
- INDICATES LOCATION OF PROPOSED CAR PLUG POST
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK
- INDICATES LOCATION OF PROPOSED FLAG POLE
- INDICATES 'EMERGENCY VEHICLE NO PARKING' POST MOUNTED SIGNAGE
- INDICATES 'HANDICAP PARKING SYMBOL' POLE MOUNTED SIGNAGE
- INDICATES 'LOADING ZONE' POST MOUNTED SIGNAGE
- INDICATES 'NO PARKING' POST MOUNTED SIGNAGE
- INDICATES 'STOP' POST MOUNTED SIGNAGE
- INDICATES 'VISITOR PARKING' POST MOUNTED SIGNAGE
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION

**Site Plan - Code Legend**

1	PROPOSED GRAVEL - REFER TO LANDSCAPE DRAWINGS FOR DETAILS	11	PUBLIC AMENITY SPACE - REFER TO LANDSCAPE DRAWINGS FOR DETAILS	22	SU9 PROPOSED LOADING PATH	32	3 EXISTING TREE GRATES
2	PROPOSED CONCRETE SIDEWALK - REFER TO LANDSCAPE DRAWINGS FOR PAVING DETAILS	12	FIRE ACCESS AREA	23	DECORATIVE FENCE REFER TO LANDSCAPE DRAWINGS	33	CITY OF CALGARY STANDARD TREE GRATES INSTALL TO MATCH EXISTING GRATES
3	CONCRETE PAD	13	457mm MODULAR PLANTER	24	BOLLARDS	34	CITY OF CALGARY STANDARD TREE GRATES INSTALL TO MATCH EXISTING GRATES
4	CLASS 02 - FIXED BIKE RACKS - 2 SPACES	14	914mm MODULAR PLANTER	25	EXISTING BUS PAD		
4A	CLASS 02 - FIXED BIKE RACKS - 10 SPACES	15	PARKADE BELOW	26	EXISTING CONCRETE APPROACH TO BE REMOVED		
5	LOCATION OF SIAMESE CONNECTION	16	OUTDOOR FIRE PLACE	27	LINES PAINTED ON ASPHALT		
6	FIRE ALARM PANEL LOCATION	17	SITE FURNITURE - REFER LANDSCAPE DRAWINGS	28	EMERGENCY EXIT GATE		
7	FIRE DEPARTMENT APPROVED LOCKBOX	18	STREET PLANTERS - REFER LANDSCAPE DRAWINGS	29	CURB		
8	PROPOSED TRANSFORMER ON CONCRETE PAD	19	7500MM STEBACK LINE	30	SU9 TURNING PATH		
9	EXISTING MAN HOLE	20	WASTE & RECYCLING AND STAGING AREA	31	GARBAGE TRUCK TURNING PATH		
10	CONCRETE LOADING ZONE	21	EXISTING CONCRETE RETAINING WALL				

**1 DP - Site Plan**  
 DP1.00 SCALE: 1:250  
 DP3.00







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PARKADE LEVEL - P2

**BRIDGELAND MIXED-USE DEVELOPMENT**

630 1st Avenue NE, CALGARY, AB  
WESTRICH MANAGEMENT  
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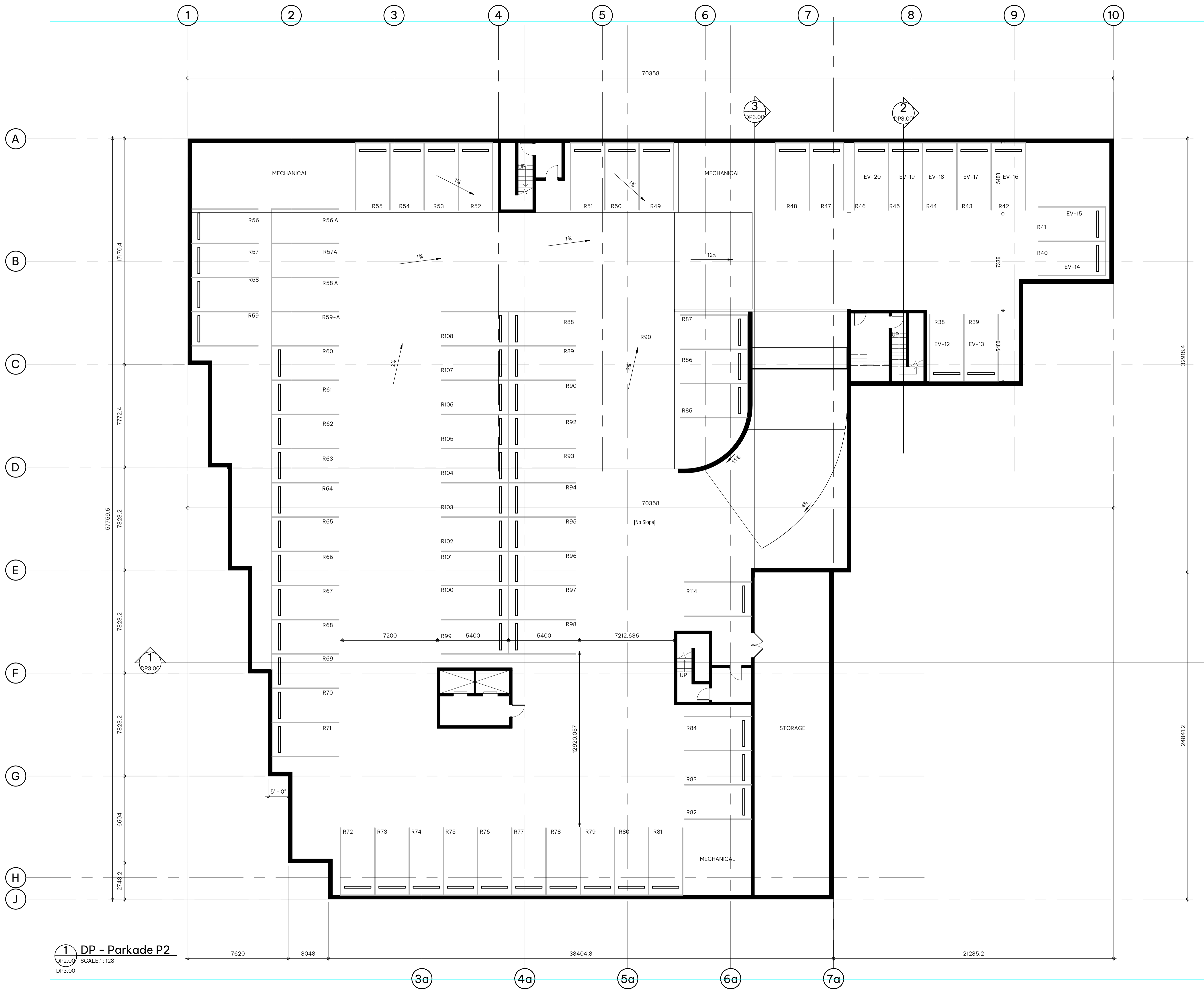
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PARKADE LEVEL - P1

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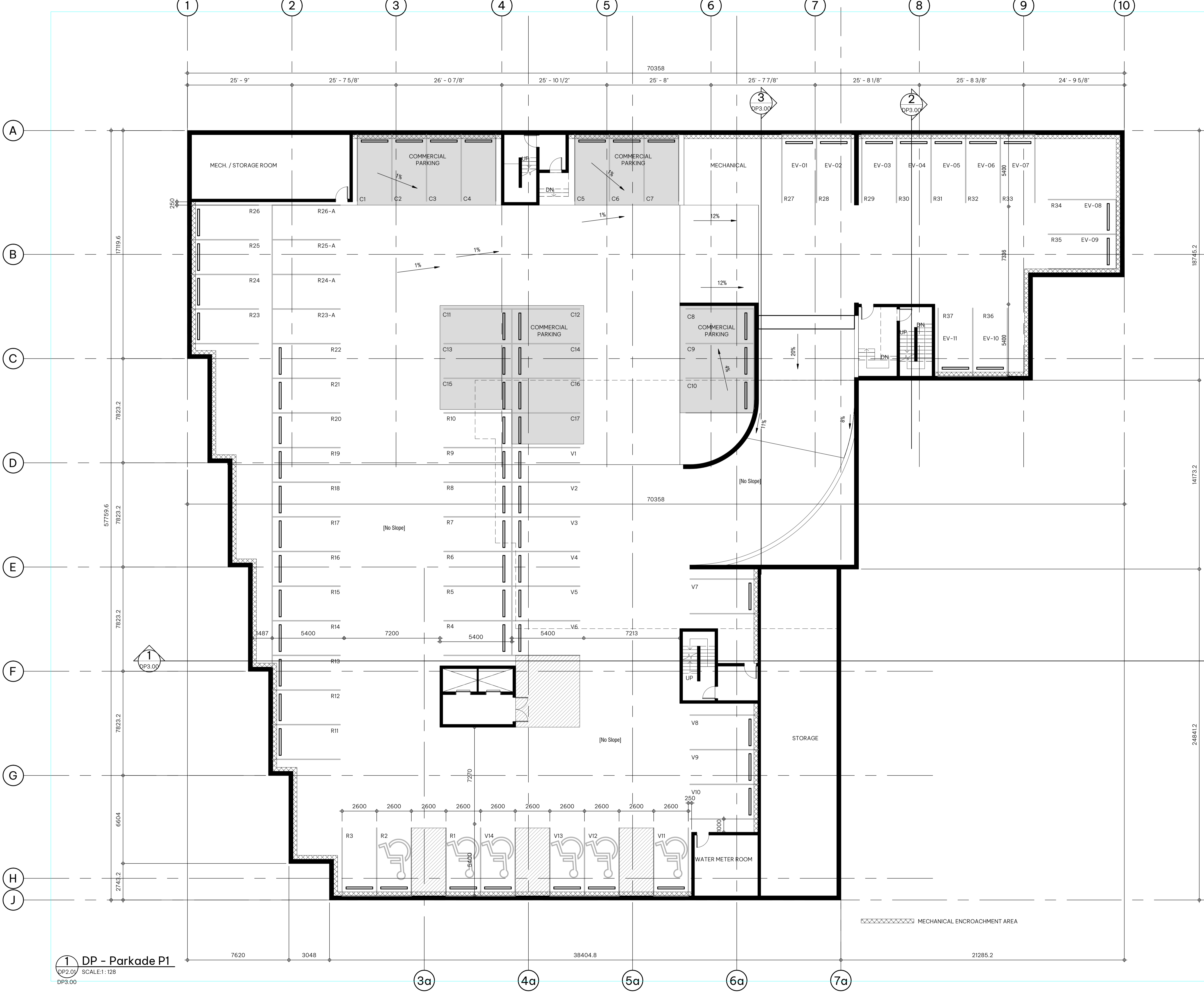
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**1 DP - Parkade P1**  
DP2.01 SCALE:1:128  
DP3.00

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MAIN FLOOR PLAN

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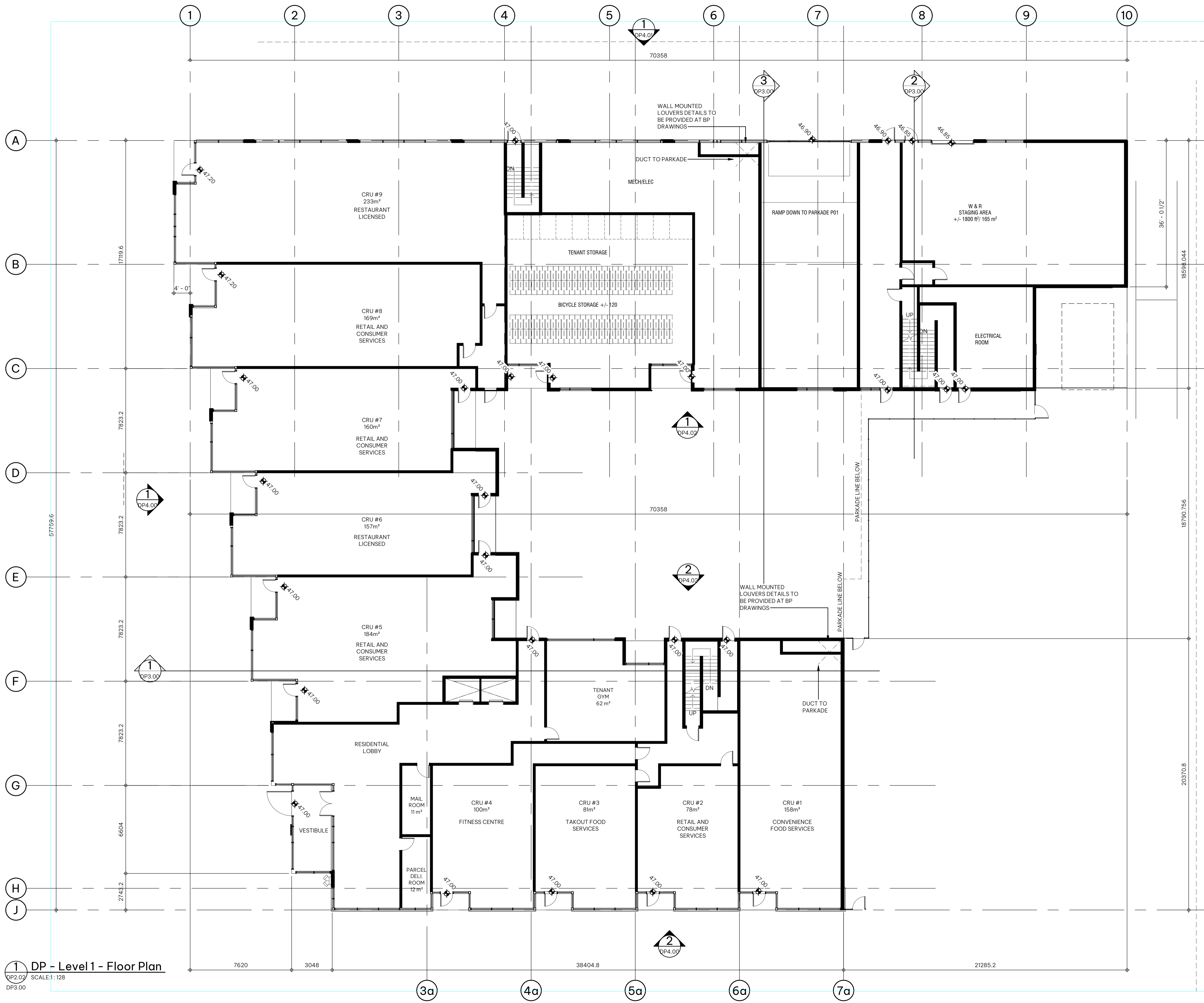
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**DP2.02**

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**1 DP - Level 1 - Floor Plan**  
DP2.02 SCALE: 1:128  
DP3.00

7620 3048 38404.8 21285.2



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LEVEL 2 FLOOR PLAN

# BRIDGELAND MIXED-USE DEVELOPMENT

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**1 DP - Level 2 - Floor Plan**  
DP2.03 SCALE:1:128  
DP3.00

**2**  
DP4.00

**1**  
DP4.01

**2**  
DP3.00

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**3a**

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**7a**



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LEVEL 3-6 FLOOR PLAN

BRIDGELAND MIXED-USE DEVELOPMENT

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1 DP - Level 3 - Floor Plan  
DP2.04 SCALE:1:128  
DP3.00





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ROOF PLAN

**BRIDGELAND MIXED-USE DEVELOPMENT**

630 1st AVENUE NE, CALGARY, AB  
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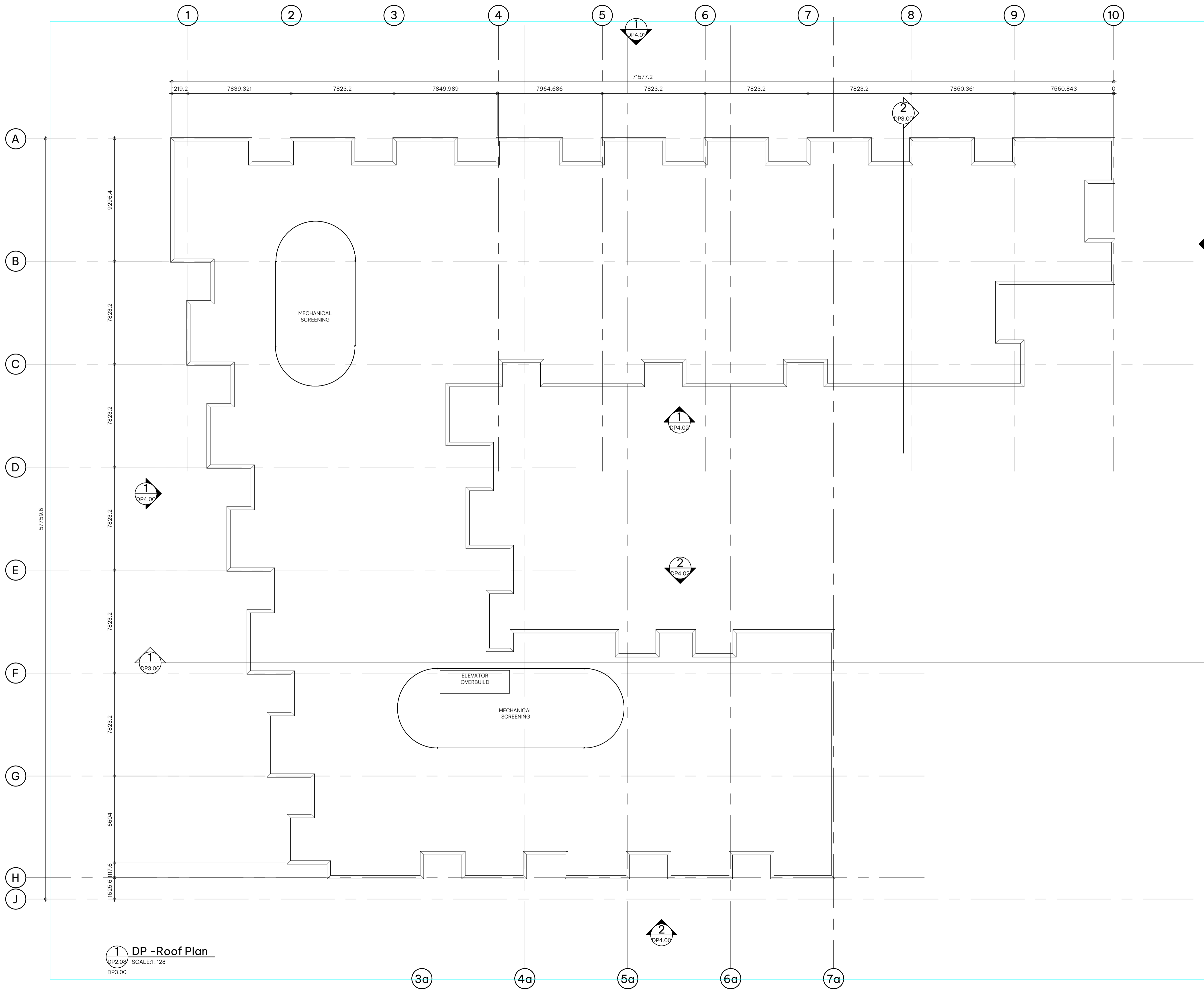
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**DP2.08**

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**1 DP - Roof Plan**  
DP2.08 SCALE: 1:128  
DP3.00

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DP4.00

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DP4.00

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DP4.01

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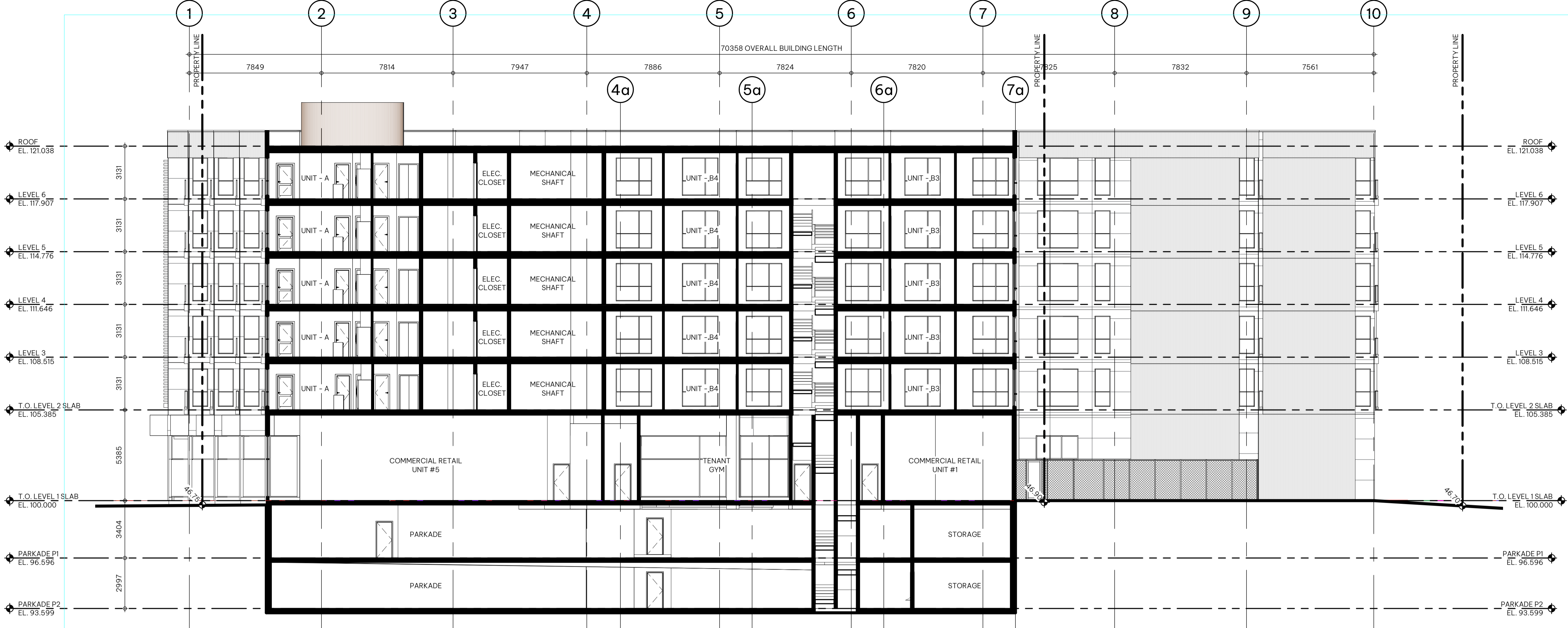
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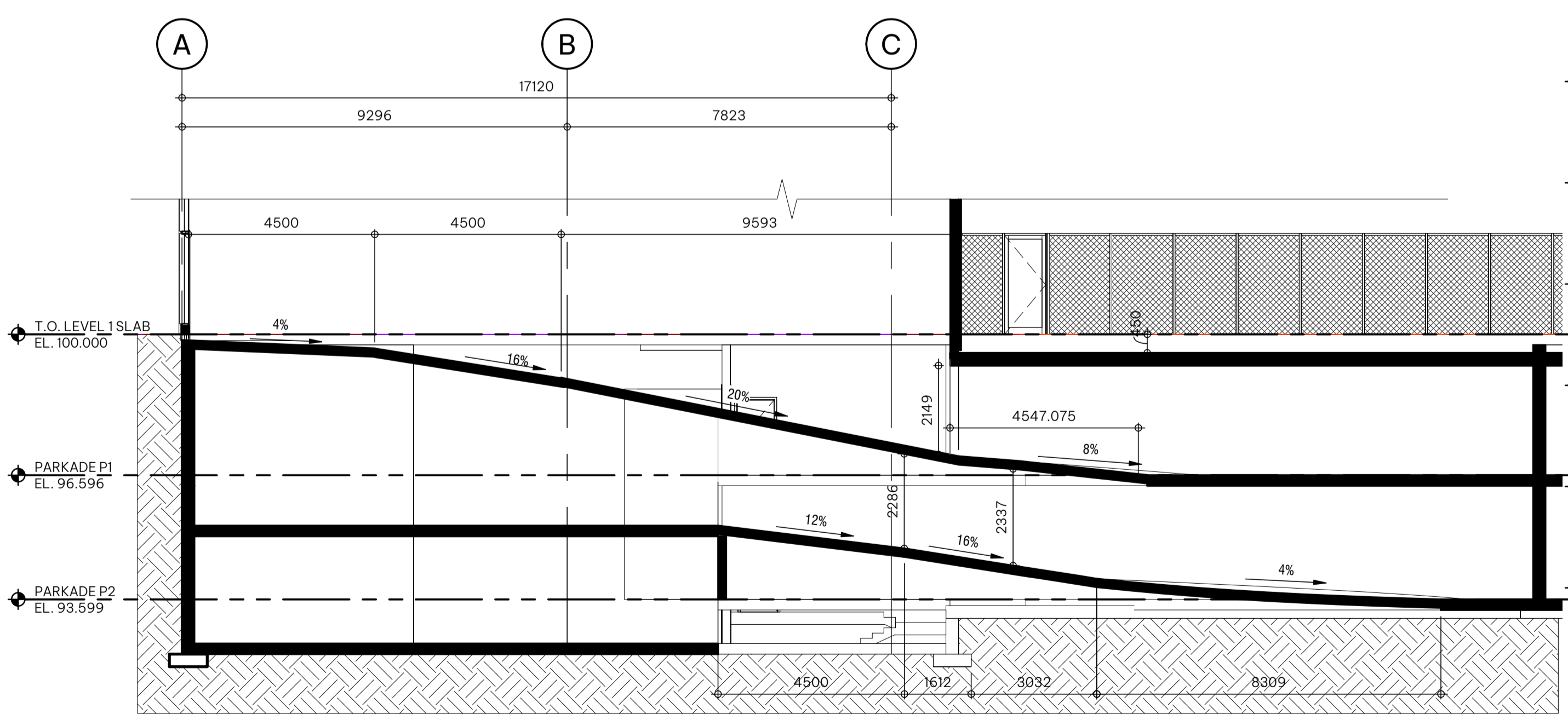
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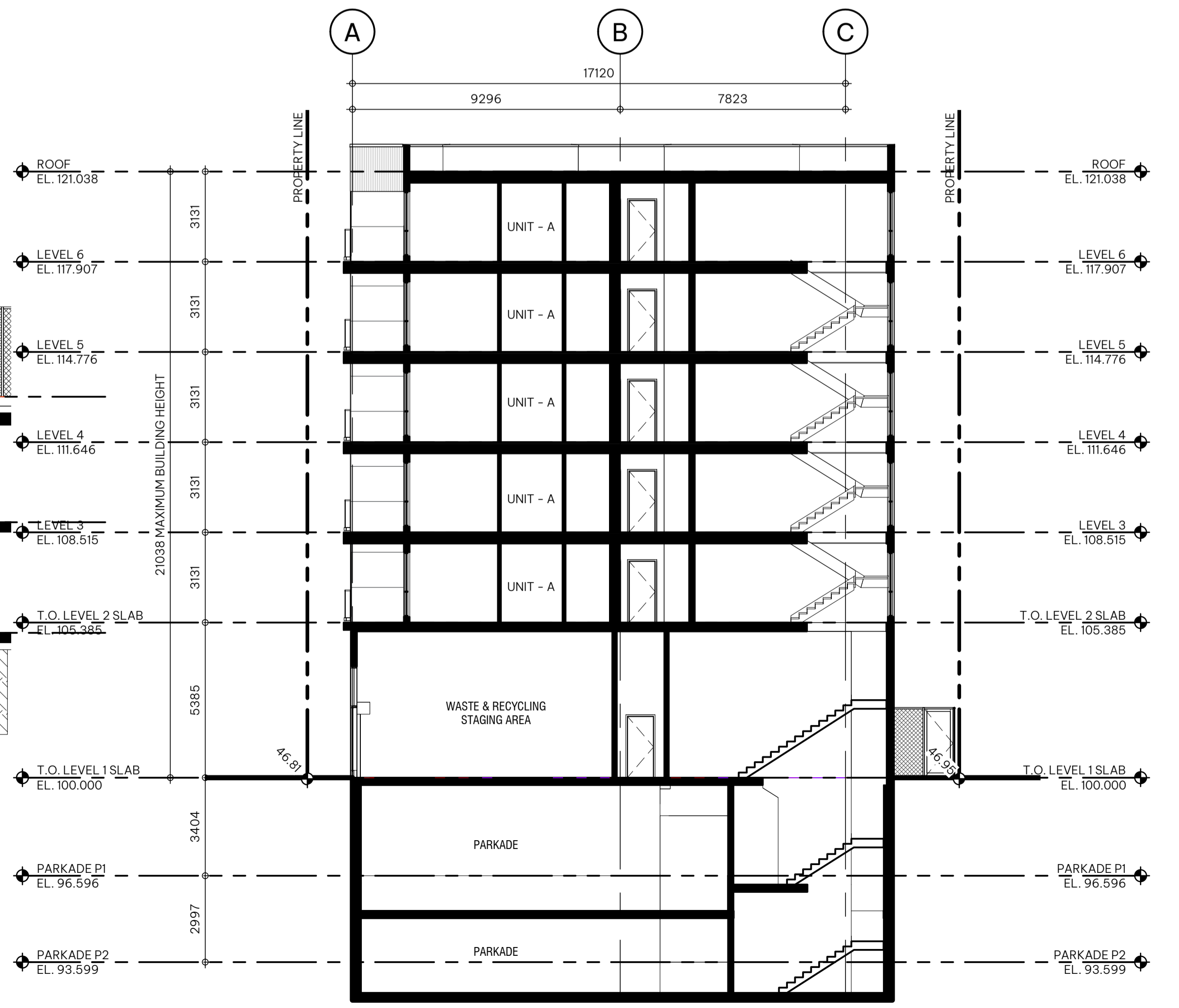


**1 Section 1-1**  
QP3.00 SCALE: 1:128  
DP2.00



**3 Partial Parkade Ramp Section**  
QP3.00 SCALE: 1:100  
DP2.00

**2 Section 2-2**  
QP3.00 SCALE: 1:128  
DP2.00





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ELEVATIONS

BRIDGELAND MIXED-USE DEVELOPMENT  
630 1st Avenue NE, CALGARY, AB  
WESTRICH MANAGEMENT  
222114

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DP4.00

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### Elevation - Code Legend

- E1 FIBRE CEMENT PANEL - GREY
- E2 WOOD COMPOSITE WALL SIDING
- E3 CURTAIN WALL GLAZING
- E4 CURTAIN WALL SPANDREL PANEL
- E5 COMPOSITE METAL PANEL - SILVER
- E6 LUX BEO - LUMBER - VERTICAL WOOD GRAIN METAL PANELS
- E7 OVERHEAD DOOR TO WASTE & RECYCLING ROOM
- E8 HOLLOW METAL MAN DOOR
- E9 OVERHEAD DOOR TO PARKADE
- E10 PVC WINDOW WITH CLEAR GLAZING - BLACK
- E11 ALUMINUM GUARDRAIL WITH CLEAR GLAZING - BLACK
- E12 DEMOUNTABLE BLADE SIGNAGE
- E13 8'-0" HIGH PRIVACY SCREEN / FENCE
- E14 LUX NEO - LUMBER - HORIZONTAL WOOD GRAIN METAL PANELS

### Elevation - General Notes

1. ALL ALUMINUM SOFFIT, EAVES & RAINWATER LEADERS TO BE GREY
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH



1 WEST ELEVATION  
DP4.00 SCALE:1:128  
DPO.06

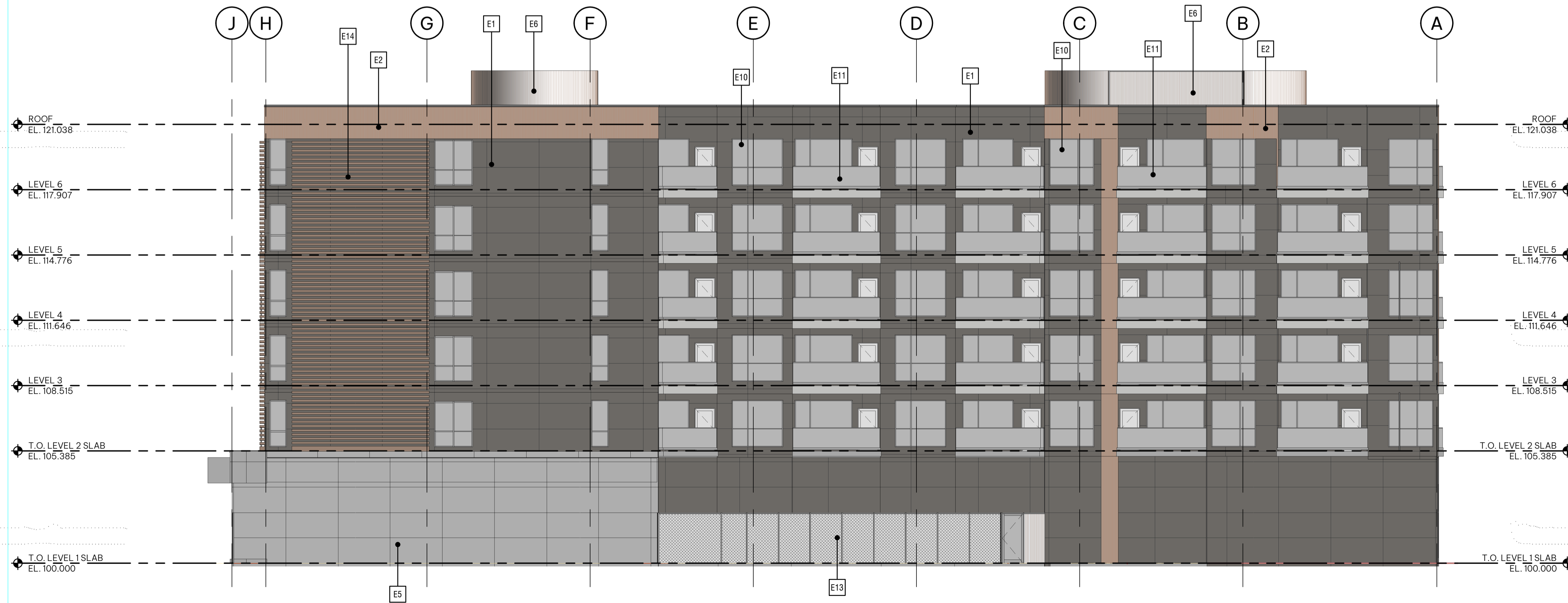


2 SOUTH ELEVATION  
DP4.00 SCALE:1:128  
DPO.06





**1 NORTH ELEVATION**  
 DP4.01 SCALE:1:128  
 DP0.06



**2 EAST ELEVATION**  
 DP4.01 SCALE:1:128  
 DP0.06

- Elevation - General Notes**
1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE GREY
  2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

- Elevation - Code Legend**
- E1 FIBRE CEMENT PANEL - GREY
  - E2 WOOD COMPOSITE WALL SIDING
  - E3 CURTAIN WALL GLAZING
  - E4 CURTAIN WALL SPANDREL PANEL
  - E5 COMPOSITE METAL PANEL - SILVER
  - E6 LUX NEO - LUMBER - VERTICAL WOOD GRAIN METAL PANELS
  - E7 OVERHEAD DOOR TO WASTE & RECYCLING ROOM
  - E8 HOLLOW METAL MAN DOOR
  - E9 OVERHEAD DOOR TO PARKADE
  - E10 PVC WINDOW WITH CLEAR GLAZING - BLACK
  - E11 ALUMINUM GUARDRAIL WITH CLEAR GLAZING - BLACK
  - E12 DEMOUNTABLE BLADE SIGNAGE
  - E13 8'-0" HIGH PRIVACY SCREEN / FENCE
  - E14 LUX NEO - LUMBER - HORIZONTAL WOOD GRAIN METAL PANELS

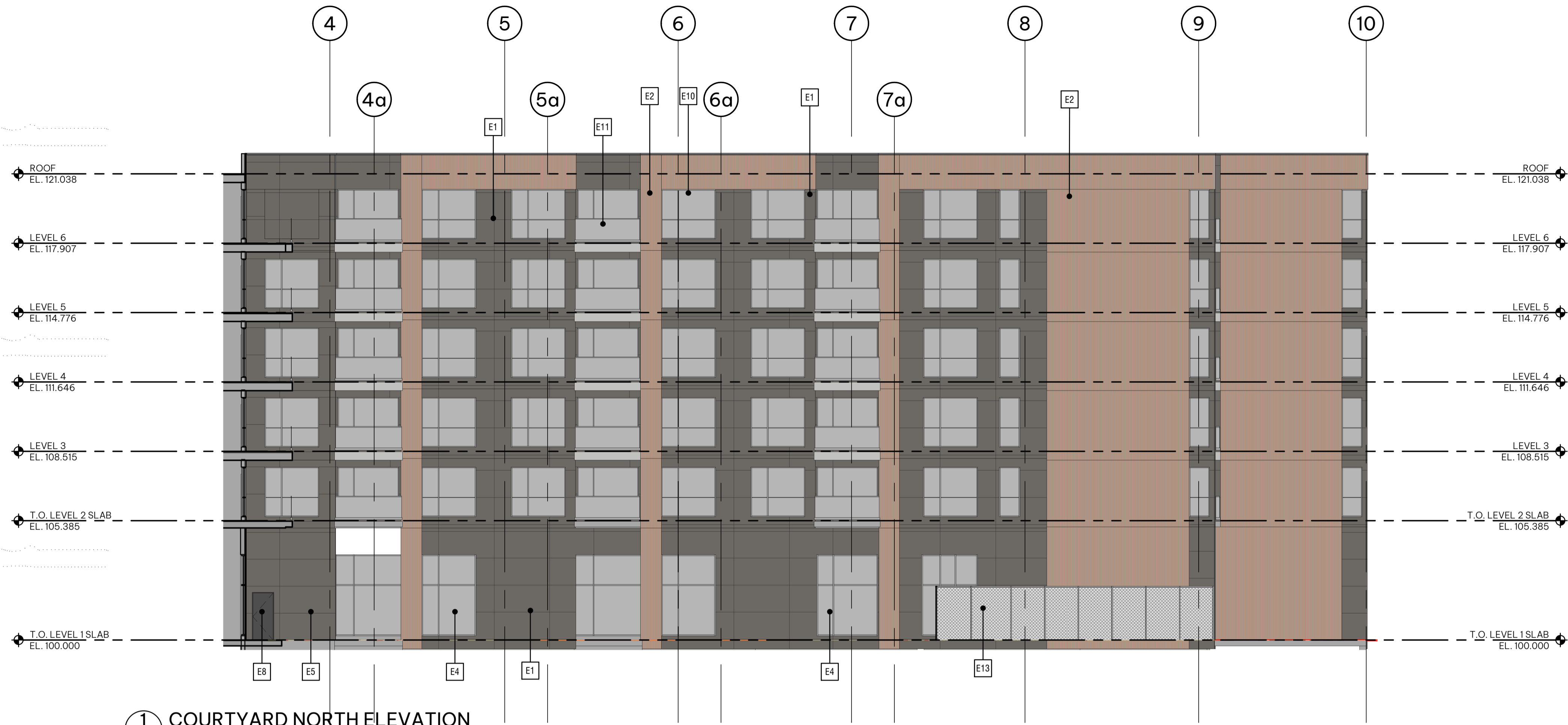
**NOT FOR CONSTRUCTION**

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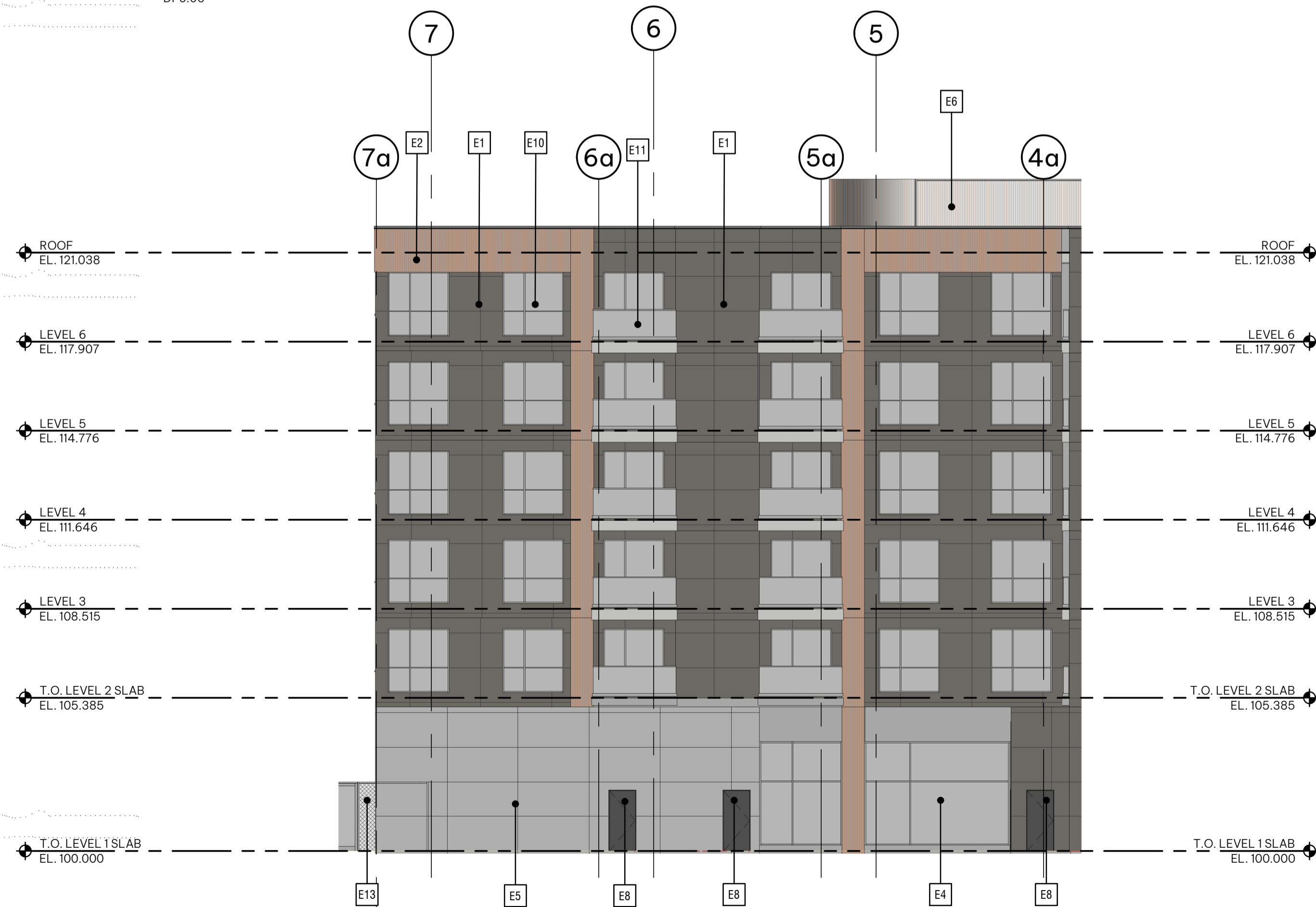
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 DRAWN BY Author  
 CHECKED BY Checker

DRAWING NO. **DP4.01**



**1 COURTYARD NORTH ELEVATION**  
 DP4.02 SCALE:1:128  
 DP0.06



**2 COURTYARD SOUTH ELEVATION**  
 DP4.02 SCALE:1:128  
 DP0.06

Elevation - General Notes	
1.	ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE GREY
2.	ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Code Legend	
E1	FIBRE CEMENT PANEL - GREY
E2	WOOD COMPOSITE WALL SIDING
E3	CURTAIN WALL GLAZING
E4	CURTAIN WALL SPANDREL PANEL
E5	COMPOSITE METAL PANEL - SILVER
E6	LUX NEO - LUMBER - VERTICAL WOOD GRAIN METAL PANELS
E7	OVERHEAD DOOR TO WASTE & RECYCLING ROOM
E8	HOLLOW METAL MAN DOOR
E9	OVERHEAD DOOR TO PARKADE
E10	PVC WINDOW WITH CLEAR GLAZING - BLACK
E11	ALUMINUM GUARDRAIL WITH CLEAR GLAZING - BLACK
E12	DEMOUNTABLE BLADE SIGNAGE
E13	8'-0" HIGH PRIVACY SCREEN / FENCE
E14	LUX NEO - LUMBER - HORIZONTAL WOOD GRAIN METAL PANELS

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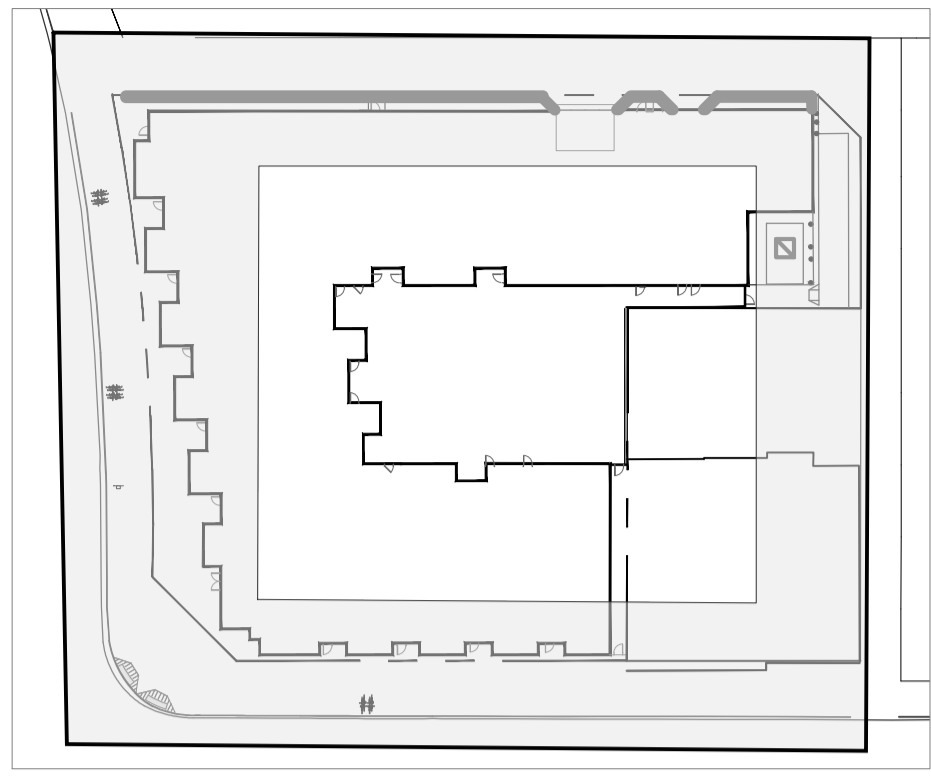
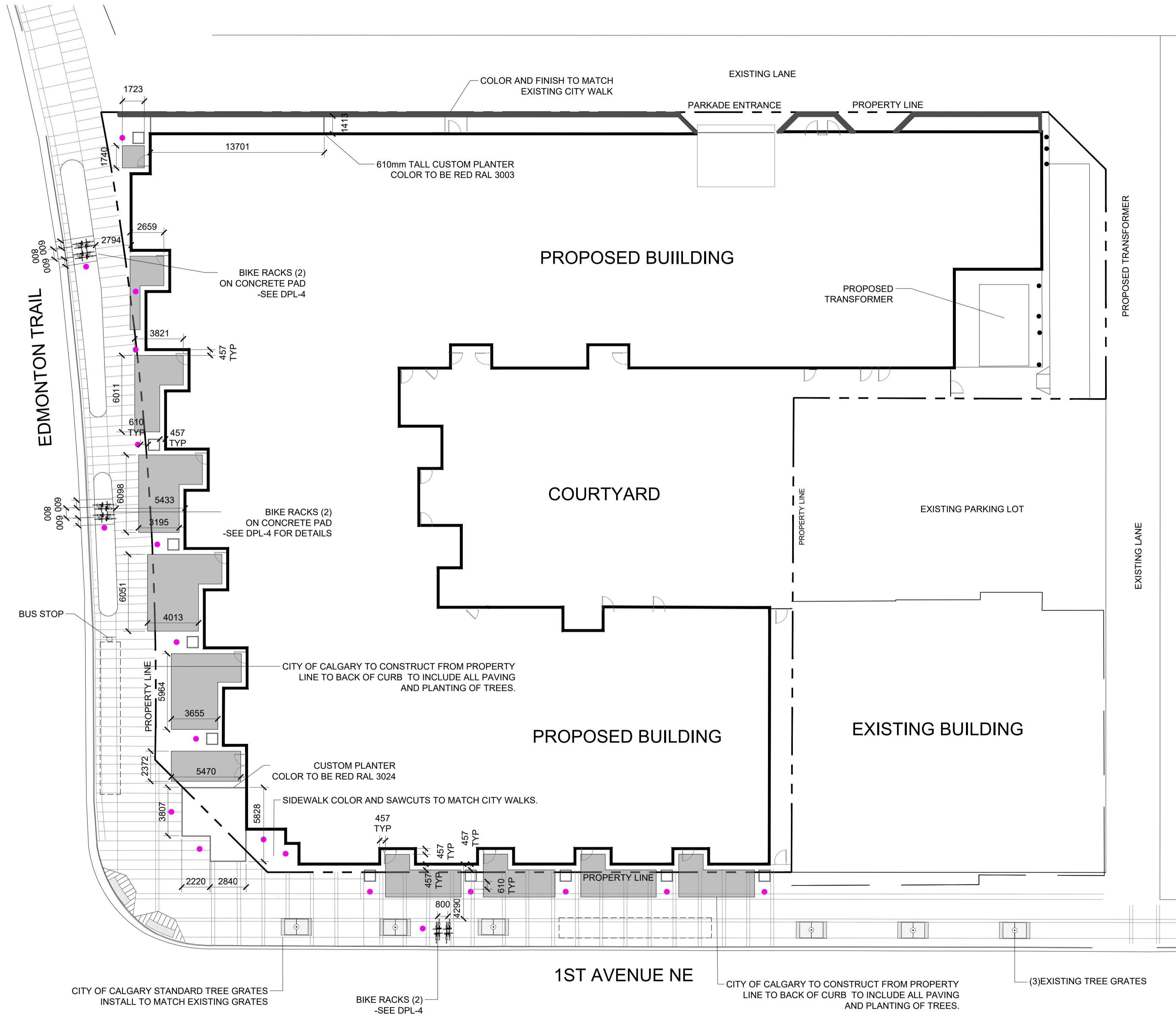
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DATE	11/16/2023 3:52:02 PM
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CHECKED BY	Checker

DRAWING NO.

**DP4.02**



KEY

**LEGEND**

- CONCRETE TO BE CHARCOAL IN COLOR AND SANDBLAST FINISH WITH SAW CUT AND CONTRAIL JOINTS THICKNESS INSTALLATION AND REINFORCEMENT AS PER CITY OF CALGARY SPECIFICATIONS.
- 914mm X 914mm X 914mm CUSTOM ALUMINUM SEASONAL PLANTERS COLOR TO BE RUBBED BRONZE GREEN THEORY MANUFACTURING
- BOLLARDS COLOR TO BE BLACK SEE DPL-4
- EXISTING TREES

CONSULTANT INFORMATION

*W.L.A.* GROUP  
LANDSCAPE ARCHITECTURE

The Alberta Association of Landscape Architects  
*Bruce E. Williams*

NOT FOR CONSTRUCTION

PROJECT INFORMATION

BRIDGELAND MULTI FAMILY  
630 - 1 AVENUE NE  
CALGARY, ALBERTA



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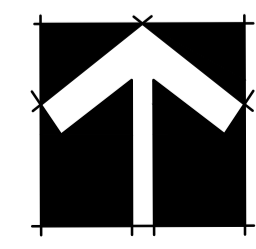
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DATE NOVEMBER 14, 2023  
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CHECKED BY BEW  
PROJECT NO.

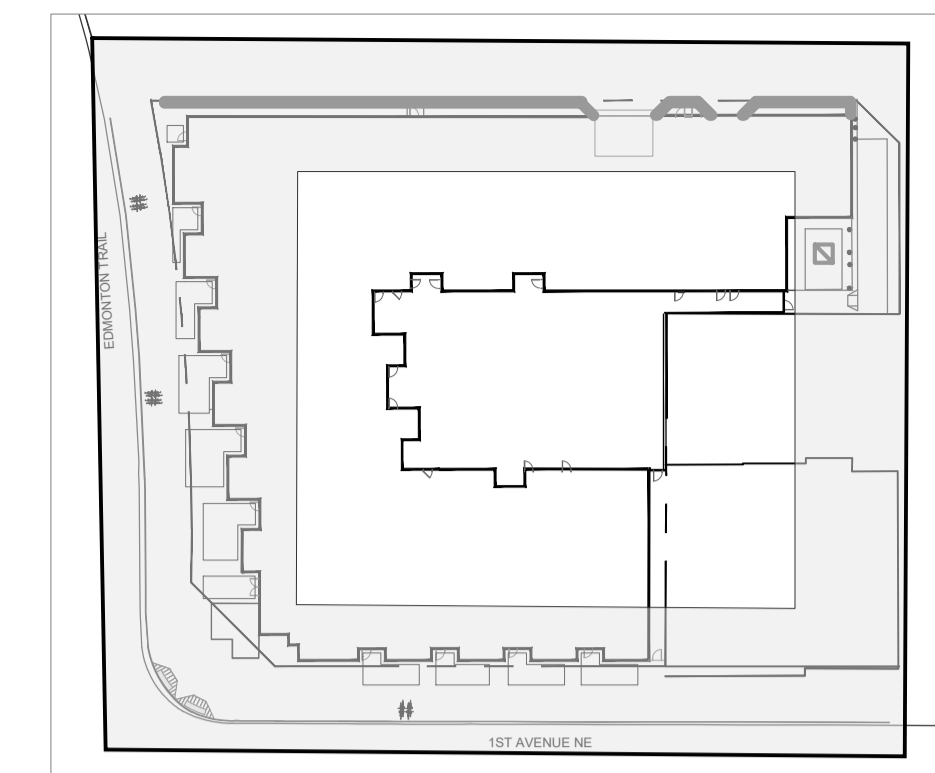
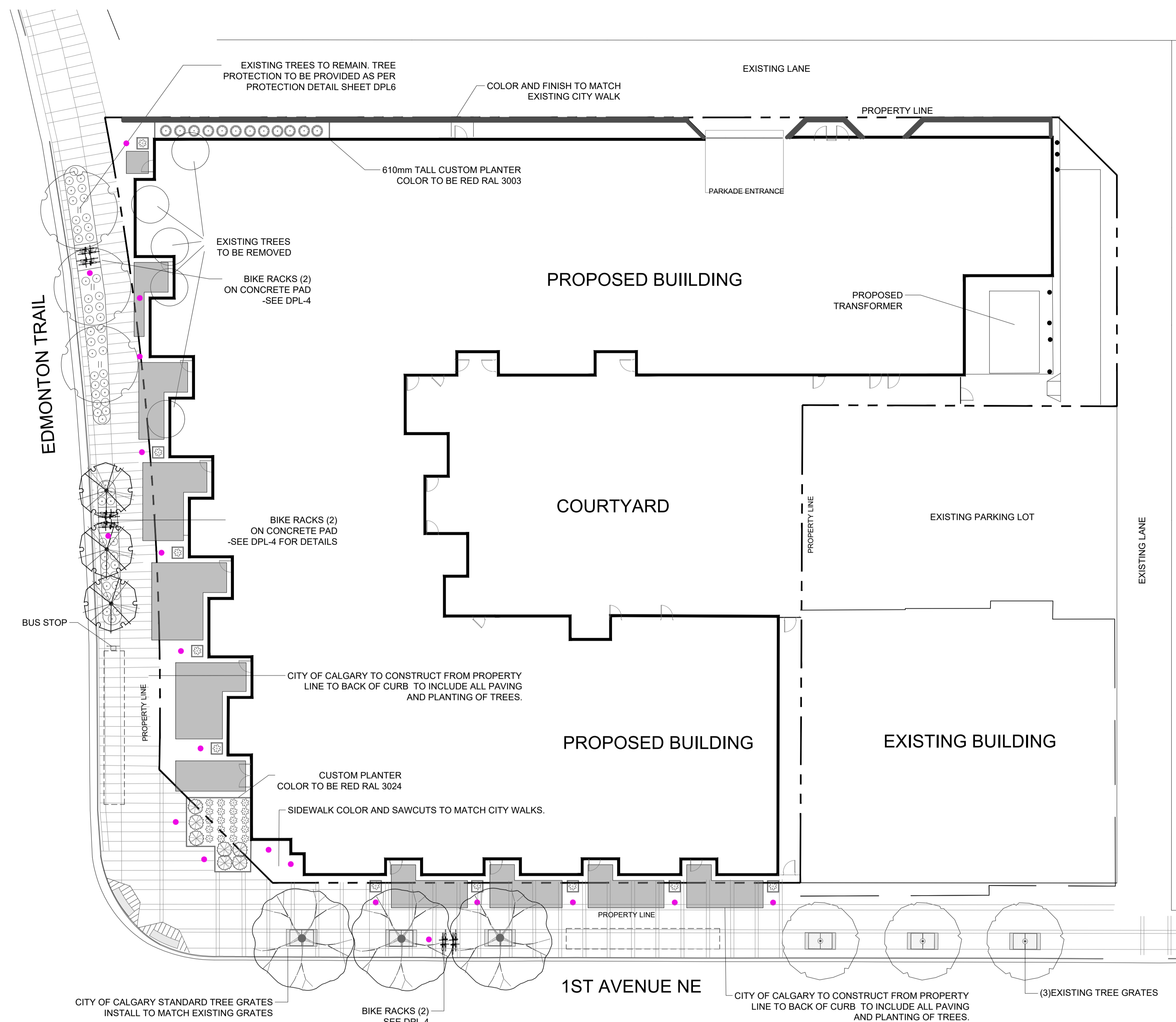
DRAWING TITLE  
EDMONTON TRAIL & 1st AVENUE NE LAYOUT & DIMENSION PLAN

DRAWING NO.  
DPL-1

**GENERAL NOTES:**

1. CONTRACTOR TO CALL FIRST CALL AT 1-800-242-3447 TO HAVE EXISTING UTILITIES LOCATED PRIOR TO START OF ANY CONSTRUCTION.
2. CONTRACTOR TO ENSURE THAT ALL NECESSARY ARRANGEMENTS ARE MADE WITH THE PIPELINE COMPANIES CONCERNING THE MOVEMENT OF MATERIALS AND EQUIPMENT NEAR ANY PIPELINE RIGHT OF WAYS.
3. CONTRACTOR IS RESPONSIBLE FOR THE HOARDING OF ALL TREE WITHIN OR ADJACENT TO CONSTRUCTION AREAS.
4. CONTRACTOR IS RESPONSIBLE FOR HAULING OF ALL EXCESS MATERIALS OFF THE SITE
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO LANDSCAPED AREAS AND MUST MAKE ALL NECESSARY RESTORATIONS AND REPAIRS
6. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT
7. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION STARTING
8. ALL MEASUREMENTS IN MILLIMETRES UNLESS OTHERWISE NOTED.





**LEGEND**

- CONCRETE TO BE CHARCOAL IN COLOR AND SANDBLAST FINISH WITH SAW CUT AND CONTRAIL JOINTS THICKNESS INSTALLATION AND REINFORCEMENT AS PER CITY OF CALGARY SPECIFICATIONS.
- 914mm X 914mm X 914mm CUSTOM ALUMINUM SEASONAL PLANTERS COLOR TO BE RUBBED BRONZE - GREEN THEORY MANUFACTURING
- BOLLARDS COLOR TO BE BLACK SEE DPL-4
- EXISTING TREES

**GENERAL NOTES:**

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7. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION STARTING
8. ALL MEASUREMENTS IN MILLIMETRES UNLESS OTHERWISE NOTED.

**PLANTING NOTES:**

1. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK AND SHALL MEET OR EXCEED THE SPECS OF THE CDN NURSERY TRADES ASSOC. FOR SIZE, HT, SPREAD, GRADING QUALITY AND METHOD OF CULTIVATION
2. NO SUBSTITUTIONS OF MATERIALS, PRODUCTS OR QUANTITIES WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
3. AREAS TO RECEIVE SOD TO HAVE TOPSOIL TO A DEPTH OF 100mm, AREAS TO RECEIVE SEED TO HAVE TOPSOIL TO A DEPTH OF 150mm, AREAS FOR PLANTING BEDS TO A DEPTH OF 450mm
4. ALL PLANT MATERIAL AND WORKMANSHIP TO CONFORM TO THE REQUIREMENTS OF THE CITY OF CALGARY DESIGN AND CONSTRUCTION STANDARDS IN ITS MOST RECENT EDITION.
5. 75mm DEPTH SHREDDED BARK MULCH IN ALL PLANTING BEDS
6. PLANTING TO BE LOW WATER LANDSCAPE AND HAND WATERING IN ALL PLANTING BEDS
7. **TREE PROTECTION PLAN AGREEMENT MUST BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION COMMENCEMENT**
8. PLANTING TO BE AS PER TYPICAL TREE TRENCH DETAIL. SEE DPL-4 FOR DETAIL.

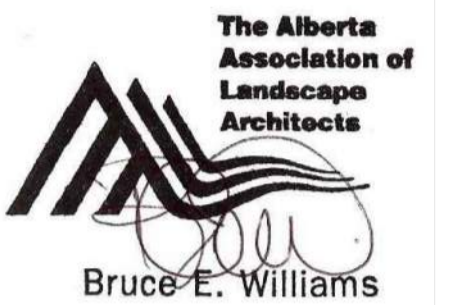
**PLANT LIST PERIMETER**

TREES	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER
	3	GREENSPIRE LITTLELEAF LINDEN / TILIA CORDATA 'GREENSPIRE'	50MM CAL.	B&B
	3	NORTHERN TREASURE ASH / FRAXINUS X 'NORTHERN TREASURE'	50MM CAL.	B&B
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER
	12	MEDORA JUNIPER / JUNIPERUS SCOPULORUM 'MEDORA'	1.2M HT.	POTTED
	7	SAVIN JUNIPER / JUNIPERUS SABINA	600MM SP.	POTTED
PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER
	62	BLUE LYME GRASS / LEYMUS ARENARIUS	305MM HT.	POTTED
	30	OVERDAM FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'OVERDAM'	305MM HT.	POTTED



CONSULTANT INFORMATION

*J.L.A. GROUP*  
LANDSCAPE ARCHITECTURE



**NOT FOR CONSTRUCTION**

PROJECT INFORMATION

BRIDGELAND MULTI FAMILY  
630 - 1 AVENUE NE  
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CHECKED BY BEW  
PROJECT NO.

DRAWING TITLE  
EDMONTON TRAIL & 1st AVENUE NE PLANTING PLAN

DRAWING NO.  
**DPL-2**

